

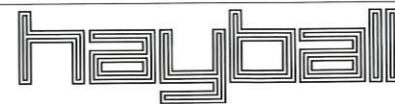
51 TERRY RD ROUSE HILL

DA DRAWINGS

| NO. | SHEET NAME |
|--------|-----------------------------|
| DA0.00 | COVER SHEET |
| DA0.01 | CONTEXT PLAN |
| DA0.02 | DEMOLITION PLAN |
| DA0.03 | EXCAVATION PLAN |
| DA0.04 | NOTIFICATION PLAN |
| DA0.05 | NOTIFICATION ELEVATIONS |
| DA1.00 | BASEMENT SITE PLAN |
| DA1.01 | LOWER GROUND PLAN |
| DA1.02 | GROUND SITE PLAN |
| DA1.03 | LEVEL 1 PLAN |
| DA1.04 | LEVEL 2 PLAN |
| DA1.05 | ROOF PLAN |
| DA1.07 | SITE SECTIONS + ELEVATIONS |
| DA1.08 | RAIL CORRIDOR SECTIONS |
| DA2.00 | BLOCK A & B BASEMENT |
| DA2.01 | BLOCK A & B LOWER GROUND |
| DA2.02 | BLOCK A & B GROUND |
| DA2.03 | BLOCK A & B LEVEL 1 |
| DA2.04 | BLOCK A & B LEVEL 2 |
| DA2.05 | BLOCK A & B ROOF |
| DA2.10 | BLOCK C BASEMENT |
| DA2.11 | BLOCK C LOWER GROUND |
| DA2.12 | BLOCK C GROUND & PARK |
| DA2.13 | BLOCK C LEVEL 1 & PARK ROOF |
| DA2.14 | BLOCK C LEVEL 2 |
| DA2.15 | BLOCK C ROOF |
| DA2.20 | BLOCK D & E BASEMENT |
| DA2.21 | BLOCK D & E LOWER GROUND |
| DA2.22 | BLOCK D & E GROUND |
| DA2.23 | BLOCK D & E LEVEL 1 |
| DA2.24 | BLOCK D & E LEVEL 2 |
| DA2.25 | BLOCK D & E ROOF |
| DA2.30 | BLOCK F GROUND |
| DA2.31 | BLOCK F LEVEL 1 |
| DA2.32 | BLOCK F ROOF |
| DA2.40 | BLOCK A & B ELEVATIONS |
| DA2.41 | BLOCK A & B ELEVATIONS |
| DA2.42 | BLOCK A & B SECTIONS |
| DA2.43 | BLOCK A & B SECTIONS |
| DA2.50 | BLOCK C & PARK ELEVATIONS |
| DA2.51 | BLOCK C & PARK ELEVATIONS |
| DA2.52 | BLOCK C & PARK SECTIONS |
| DA2.53 | BLOCK C & PARK SECTIONS |
| DA2.60 | BLOCK D & E ELEVATIONS |
| DA2.61 | BLOCK D & E ELEVATIONS |
| DA2.62 | BLOCK D & E SECTIONS |
| DA2.63 | BLOCK D & E SECTIONS |

DA DRAWINGS

| NO. | SHEET NAME |
|--------|-------------------------------------|
| DA2.70 | BLOCK F ELEVATIONS |
| DA3.10 | TYPE A1 (FACADE 01A) |
| DA3.11 | TYPE A1 (FACADE 01B) |
| DA3.12 | TYPE A1 (FACADE 02A) |
| DA3.13 | TYPE A1 (FACADE 02B) |
| DA3.14 | TYPE A1 (FACADE 03) |
| DA3.15 | TYPE A2 (FACADE 01A) |
| DA3.16 | TYPE A2 (FACADE 01B) |
| DA3.17 | TYPE A2 (FACADE 02A) |
| DA3.18 | TYPE A2 (FACADE 02B) |
| DA3.19 | TYPE A2 (FACADE 03) |
| DA3.20 | TYPE B1 (FACADE 01A) |
| DA3.21 | TYPE B1 (FACADE 01B) |
| DA3.22 | TYPE B1 (FACADE 02A) |
| DA3.23 | TYPE B1 (FACADE 02B) |
| DA3.24 | TYPE B1 (FACADE 03) |
| DA3.25 | TYPE B2 (FACADE 02A) |
| DA3.26 | TYPE B2 (FACADE 02B) |
| DA3.27 | TYPE B2 (FACADE 03) |
| DA3.28 | TYPE B3 (FACADE 01A) |
| DA3.29 | TYPE B3 (FACADE 01B) |
| DA3.30 | TYPE B3 (FACADE 02A) |
| DA3.31 | TYPE B3 (FACADE 02B) |
| DA3.32 | TYPE B3 (FACADE 03) |
| DA3.40 | TYPE C (FACADE 01A) |
| DA3.41 | TYPE C (FACADE 01B) |
| DA3.42 | TYPE C (FACADE 03) |
| DA3.50 | TYPE D (FACADE 01A) |
| DA3.51 | TYPE D (FACADE 01B) |
| DA3.52 | TYPE D (FACADE 03) |
| DA3.53 | TYPE D - POST ADAPTABLE (FACADE 03) |
| DA3.60 | TYPE E (FACADE 04) |
| DA3.61 | TYPE E - POST ADAPTABLE (FACADE 04) |
| DA4.00 | GFA CALCULATIONS |
| DA4.01 | DWELLING & PARKING CALCULATIONS |
| DA4.10 | SITE COVERAGE CALCULATION |
| DA5.10 | PPOS SOLAR COMPLIANCE |
| DA5.00 | SHADOW DIAGRAMS |
| DA5.01 | SHADOW DIAGRAMS |
| DA5.02 | SHADOW DIAGRAMS |
| DA5.03 | SHADOW DIAGRAMS |
| DA5.04 | SHADOW DIAGRAMS |
| DA5.05 | SHADOW DIAGRAMS |
| DA6.01 | PERSPECTIVES - FACADE TYPES |
| DA6.02 | PERSPECTIVES - FACADE TYPES |



Melbourne Sydney Brisbane
4/135 Ground Floor Level 12,
Sturt Street Southbank, 11-17 Buckingham Street 324 Queen Street,
VIC 3006 Surry Hills NSW 2010 Brisbane QLD 4000
T +61 3 9599 3644 T +61 2 9550 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take
precedence over scaled work. Work shall also conform to the specifications, other drawings and job
dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not
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PolyGlobal

PROJECT NAME

51 Terry Rd

PROJECT ADDRESS

51 Terry Rd, Rouse Hill NSW

PROJECT NUMBER

2281

STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

COVER SHEET

DRAWN BY

TB

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11/03/2020 9:47:03 AM

SCALE

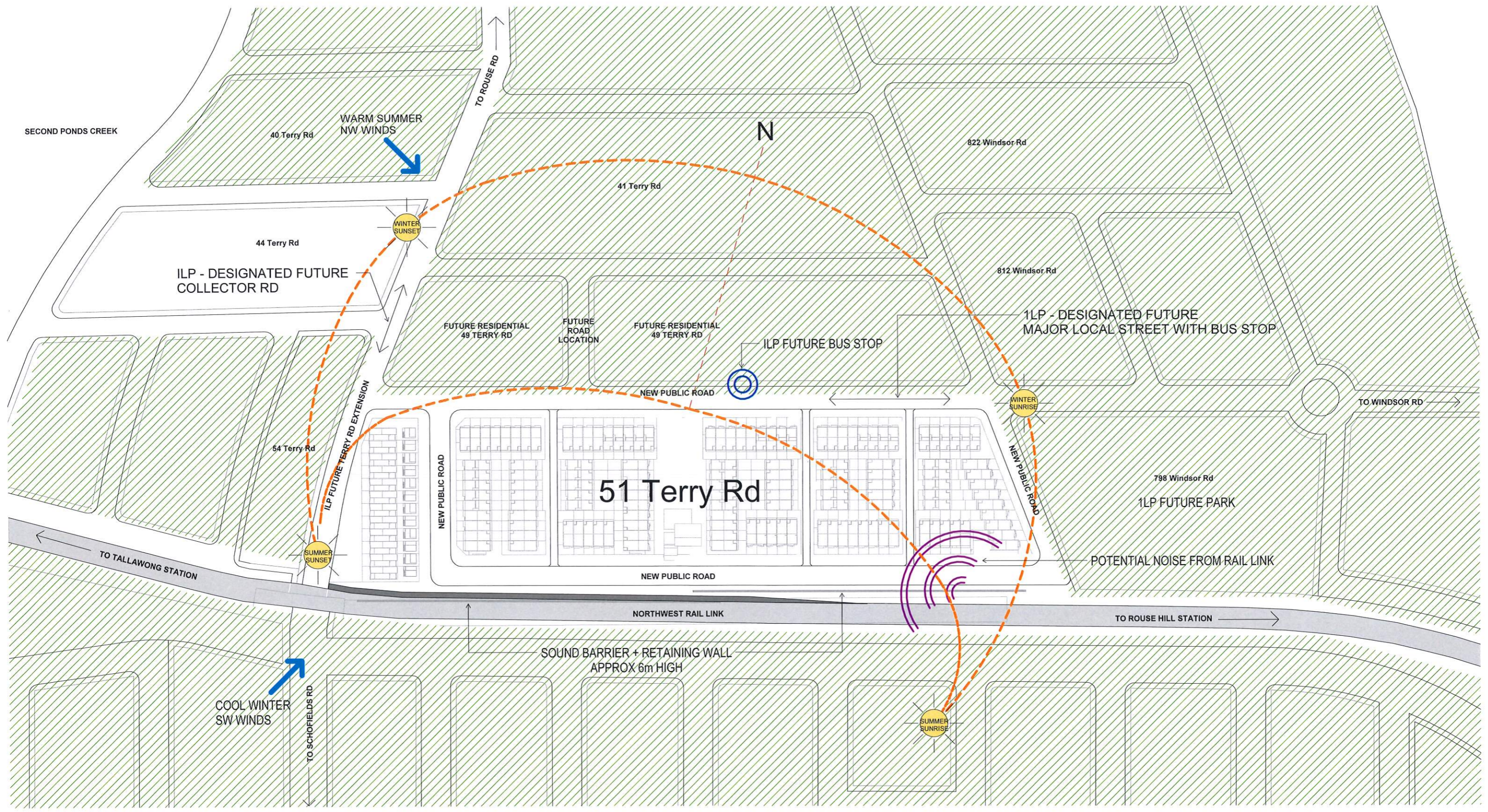
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DA0.00

REVISION

G

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 06/08/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



 CURRENT AGRICULTURE SITES FOR FUTURE RESIDENTIAL DEVELOPMENT

KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
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| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821
 ABN: 8400394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

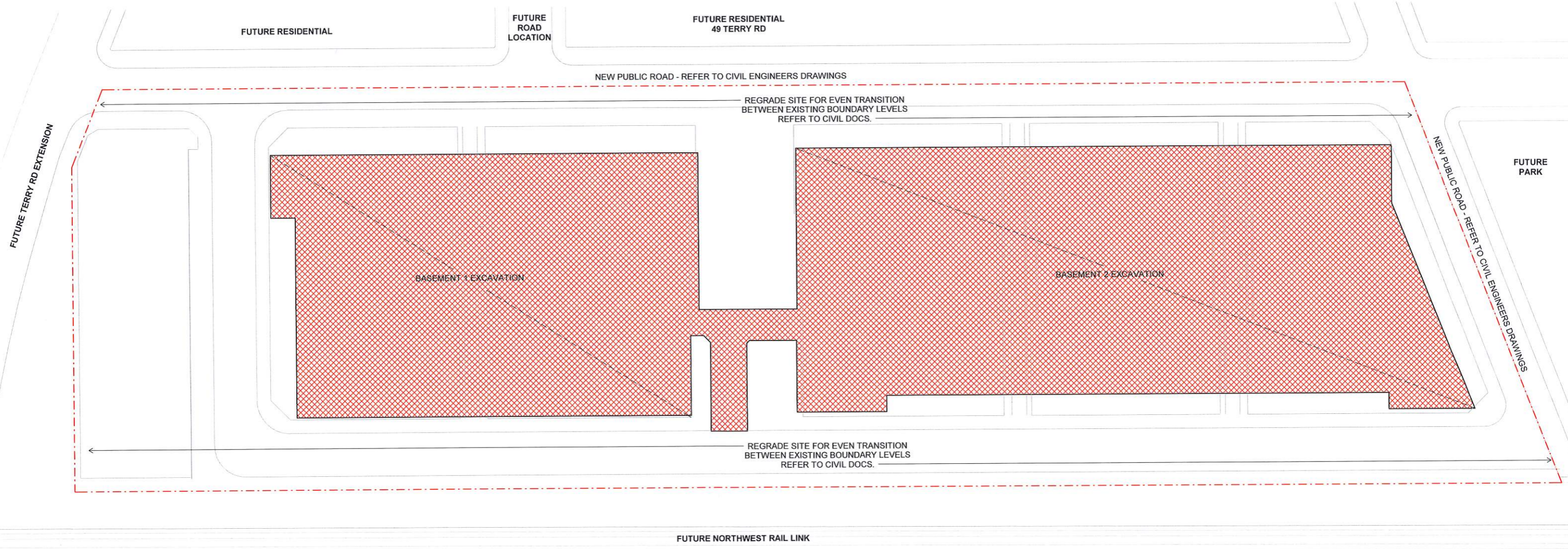
CLIENT
PolyGlobal
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51 Terry Rd
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51 Terry Rd, Rouse Hill NSW
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2281

DRAWING TITLE
CONTEXT PLAN
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DRAWING NUMBER
DA0.01
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F

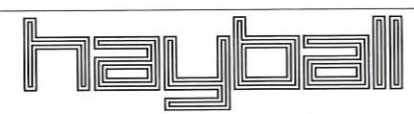


REVISION
F



KEY MAP

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|-----|-------------------------|------------|
| B | FOR DA | 10/03/2020 |
| A | DEVELOPMENT APPLICATION | 05/04/2019 |
| Rev | Description | Date |



Melbourne 4/135 Sturt Street Southbank, VIC 3006 T +61 3 9599 3644
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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
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2281

STATUS
DEVELOPMENT APPLICATION

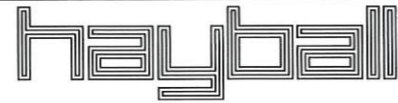
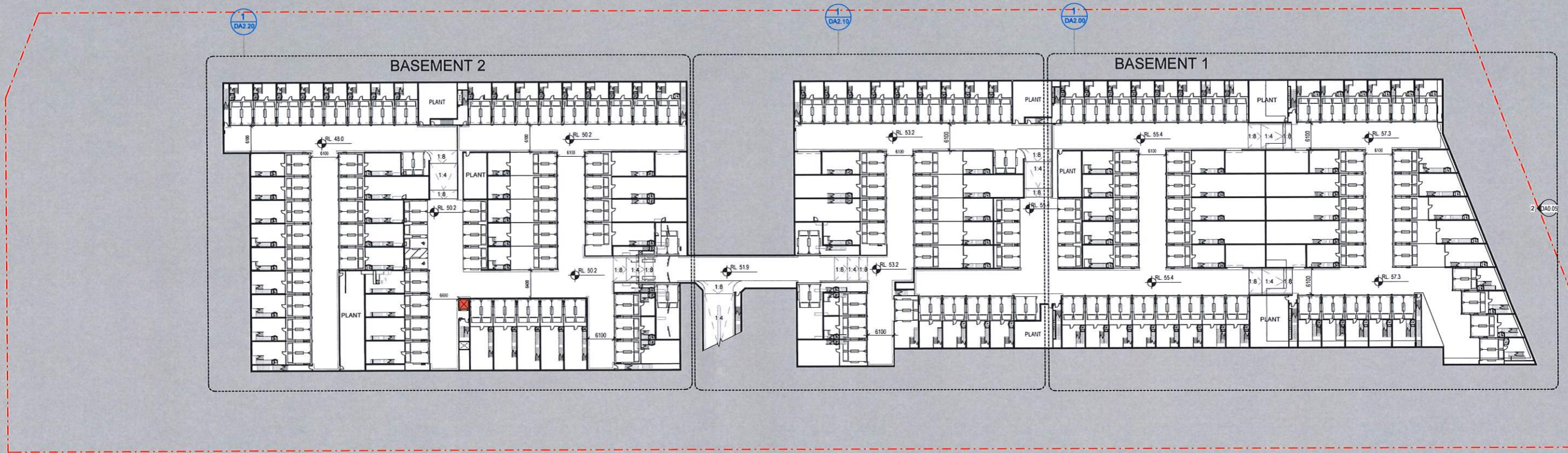
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EXCAVATION PLAN

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DA0.03



REVISION
B



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |

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51 Terry Rd

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PROJECT NUMBER
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STATUS
DEVELOPMENT APPLICATION

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BASEMENT SITE PLAN

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DA1.00



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F



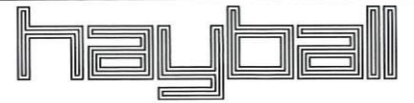
TOWN HOUSE KEY

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

- 3: 3 BEDROOM TOWN HOUSE
- 4: 4 BEDROOM TOWN HOUSE
- 4A: ADAPTABLE 4 BEDROOM TOWN HOUSE

KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 21/06/2019 |
| F | FOR DA | 19/06/2019 |
| E | DEVELOPMENT APPLICATION | 05/04/2019 |
| D | DA FOR REVIEW | 22/03/2019 |
| C | DA FOR REVIEW | 15/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane 324 Queen Street, Brisbane Qld 4000
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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figned dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

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STATUS
DEVELOPMENT APPLICATION

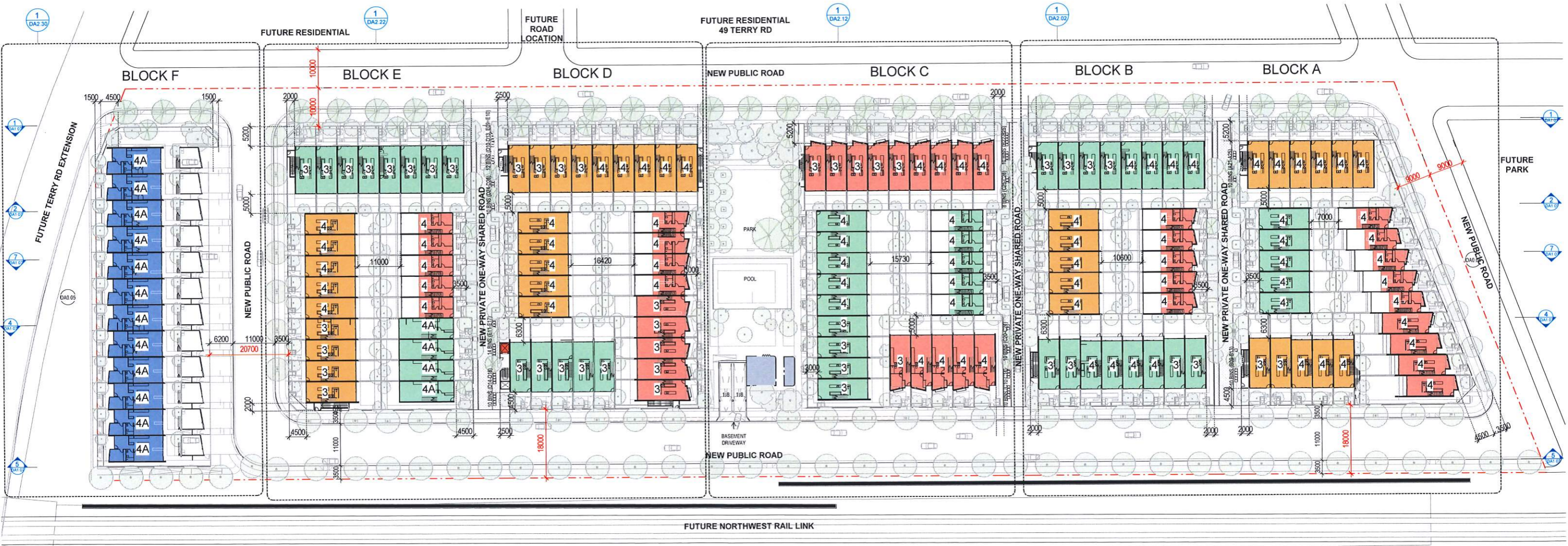
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LOWER GROUND PLAN

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DA1.01



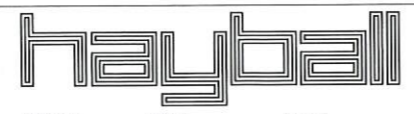
REVISION
H



TOWN HOUSE KEY

- Amenity
 - FACADE TYPE 1
 - FACADE TYPE 2
 - FACADE TYPE 3
 - FACADE TYPE 4
 - Calculating...
- 3: 3 BEDROOM TOWN HOUSE
 4: 4 BEDROOM TOWN HOUSE
 4A: ADAPTABLE 4 BEDROOM TOWN HOUSE

| Rev | Description | Date |
|-----|-------------------------|------------|
| K | FOR DA | 10/03/2020 |
| J | FOR DA | 17/07/2019 |
| I | FOR DA | 21/06/2019 |
| H | FOR DA | 19/06/2019 |
| G | DEVELOPMENT APPLICATION | 05/04/2019 |
| F | DA FOR REVIEW | 22/03/2019 |
| E | DA FOR REVIEW | 15/03/2019 |
| D | UPDATED MASTERPLAN | 13/03/2019 |
| C | FOR REVIEW | 04/10/2018 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



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 VIC 3005, Sunny Hills NSW 2010, Brisbane Qld 4000
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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
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 Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take
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GROUND SITE PLAN
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DEVELOPMENT APPLICATION

DRAWING NUMBER
DA1.02

REVISION
K

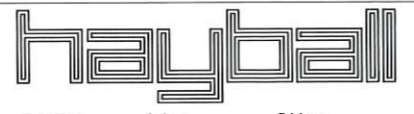


TOWN HOUSE KEY

| | |
|---|------------------------------------|
| FACADE TYPE 1 | 3: 3 BEDROOM TOWN HOUSE |
| FACADE TYPE 2 | 4: 4 BEDROOM TOWN HOUSE |
| FACADE TYPE 3 | 4A: ADAPTABLE 4 BEDROOM TOWN HOUSE |
| FACADE TYPE 4 | |

SITE PLAN - LEVEL 1. No Landscape

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street Brisbane Qld 4000 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Torloff 8028
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DRAWING TITLE
LEVEL 1 PLAN
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 SCALE 1 : 500
 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA1.03

REVISION
H



TOWN HOUSE KEY

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4
- 3: 3 BEDROOM TOWN HOUSE
- 4: 4 BEDROOM TOWN HOUSE
- 4A: ADAPTABLE 4 BEDROOM TOWN HOUSE

KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3544 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
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2281

STATUS
DEVELOPMENT APPLICATION

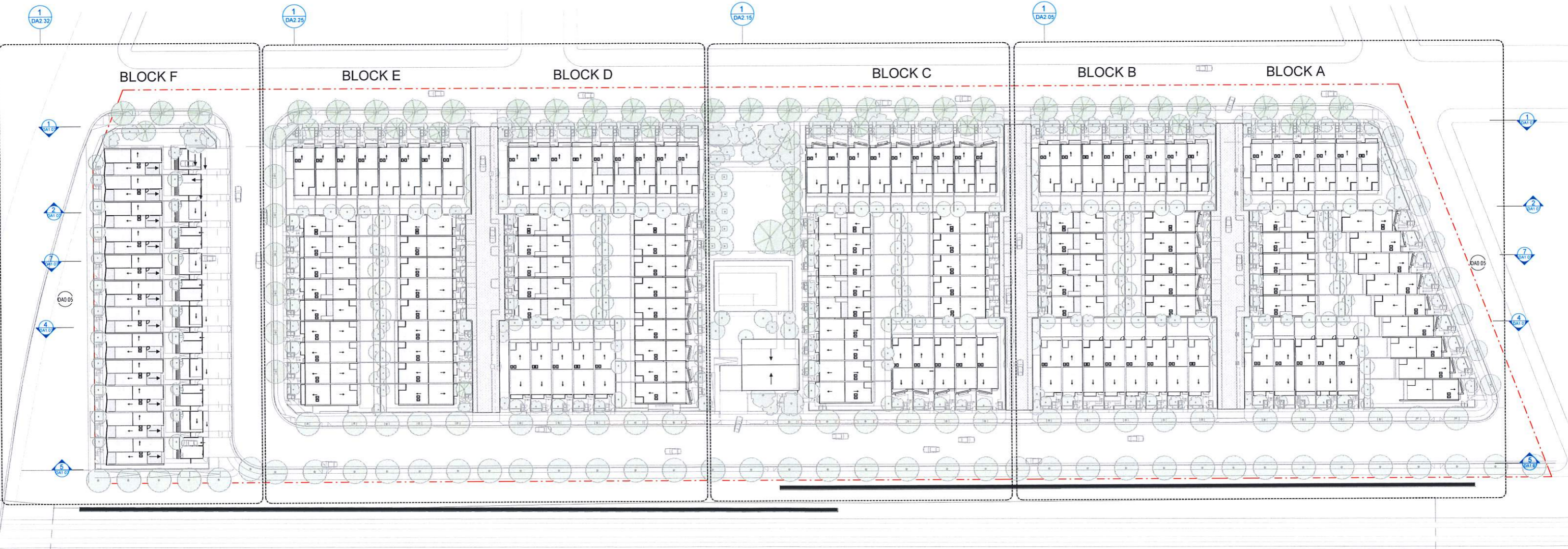
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LEVEL 2 PLAN

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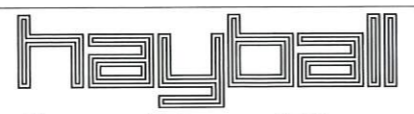


REVISION
G



KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



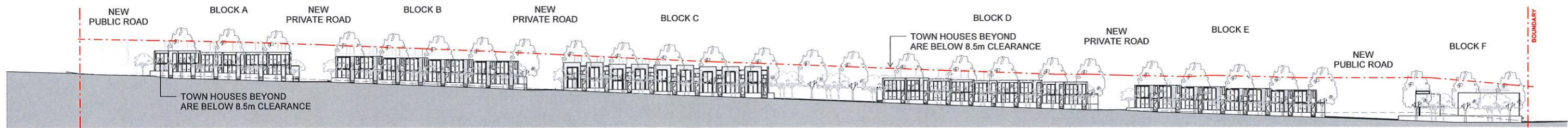
Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000
 T +61 3 9599 3644 T +61 2 9650 9329 T +61 7 3211 9821
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 PROJECT NAME
51 Terry Rd
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2281

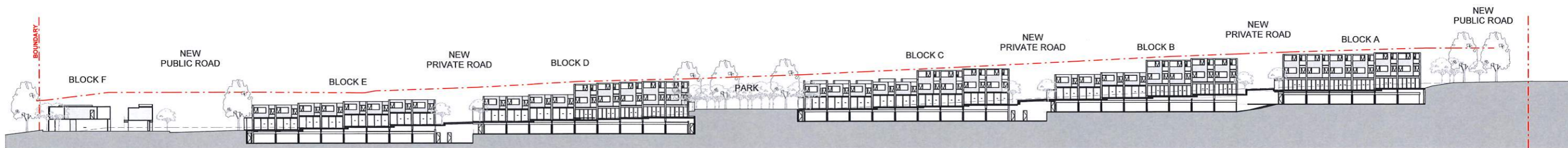
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ROOF PLAN
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 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA1.05

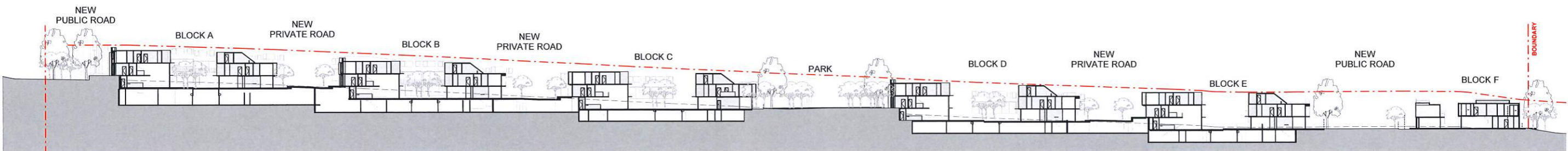
REVISION
G



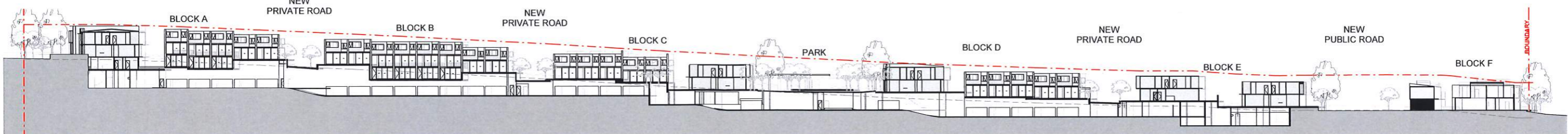
1 NORTH SITE ELEVATION
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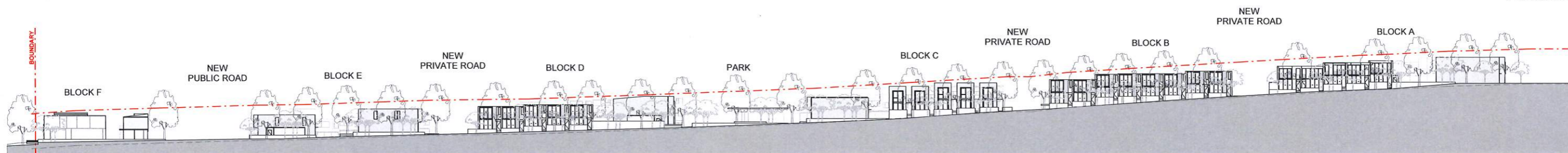
2 SITE SECTION 1
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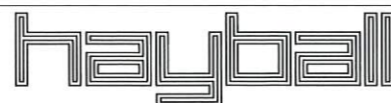
7 SITE SECTION 2
1:500



4 SITE SECTION 3
1:500



5 SOUTH SITE ELEVATION
1:500



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Ground Floor 11-17 Buckingham Street T +61 2 9560 9329
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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Toroff 8028
Builders/Contractors shall use if job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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51 Terry Rd
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2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
SITE SECTIONS + ELEVATIONS

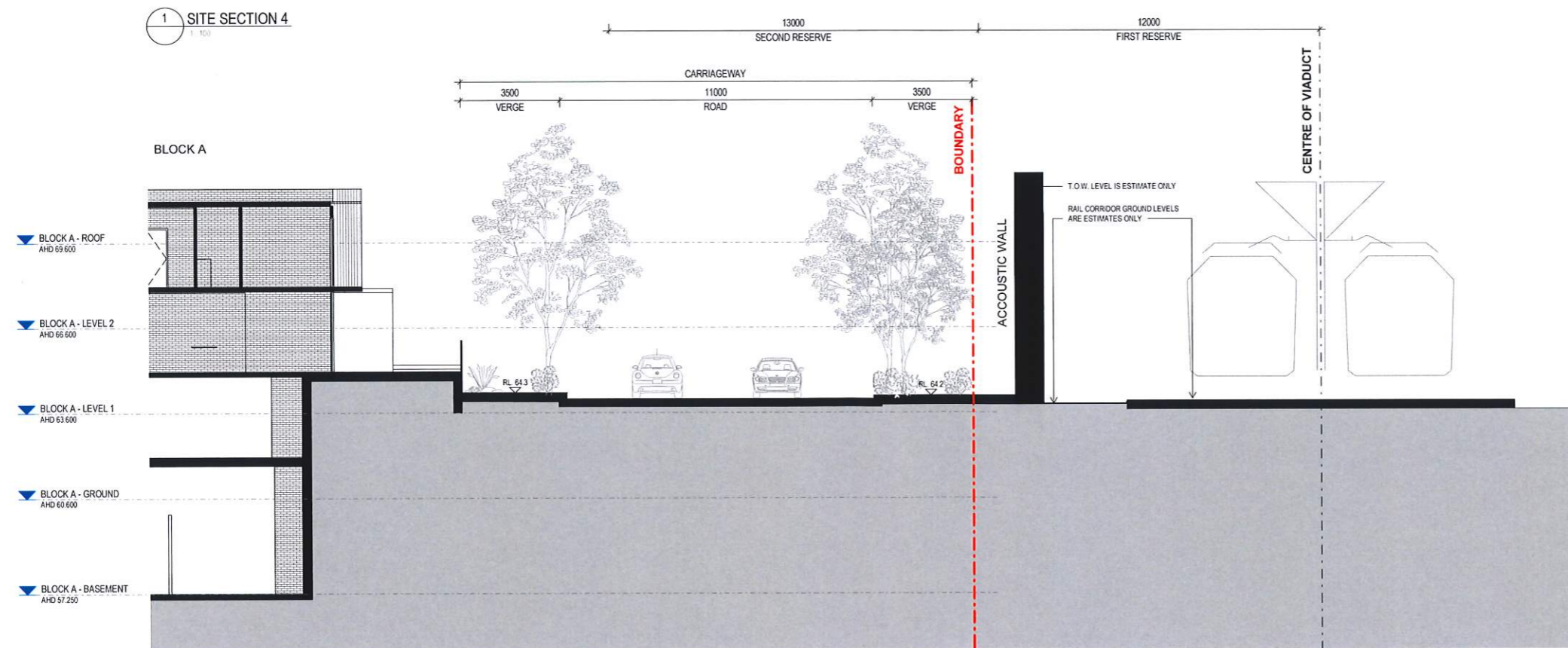
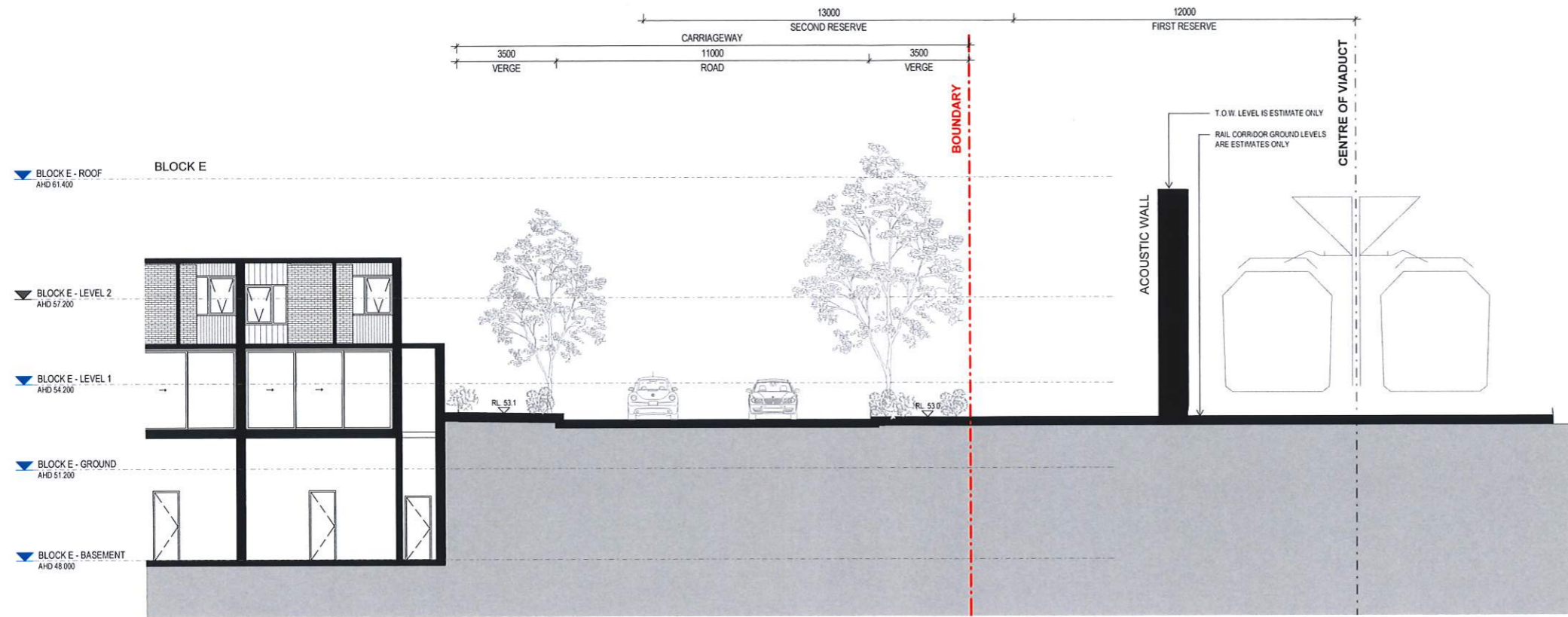
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DA1.07



REVISION
G

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 41/35 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tonelloff 8028
 Builders/Contractors shall verify job dimensions before any job commences. If figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

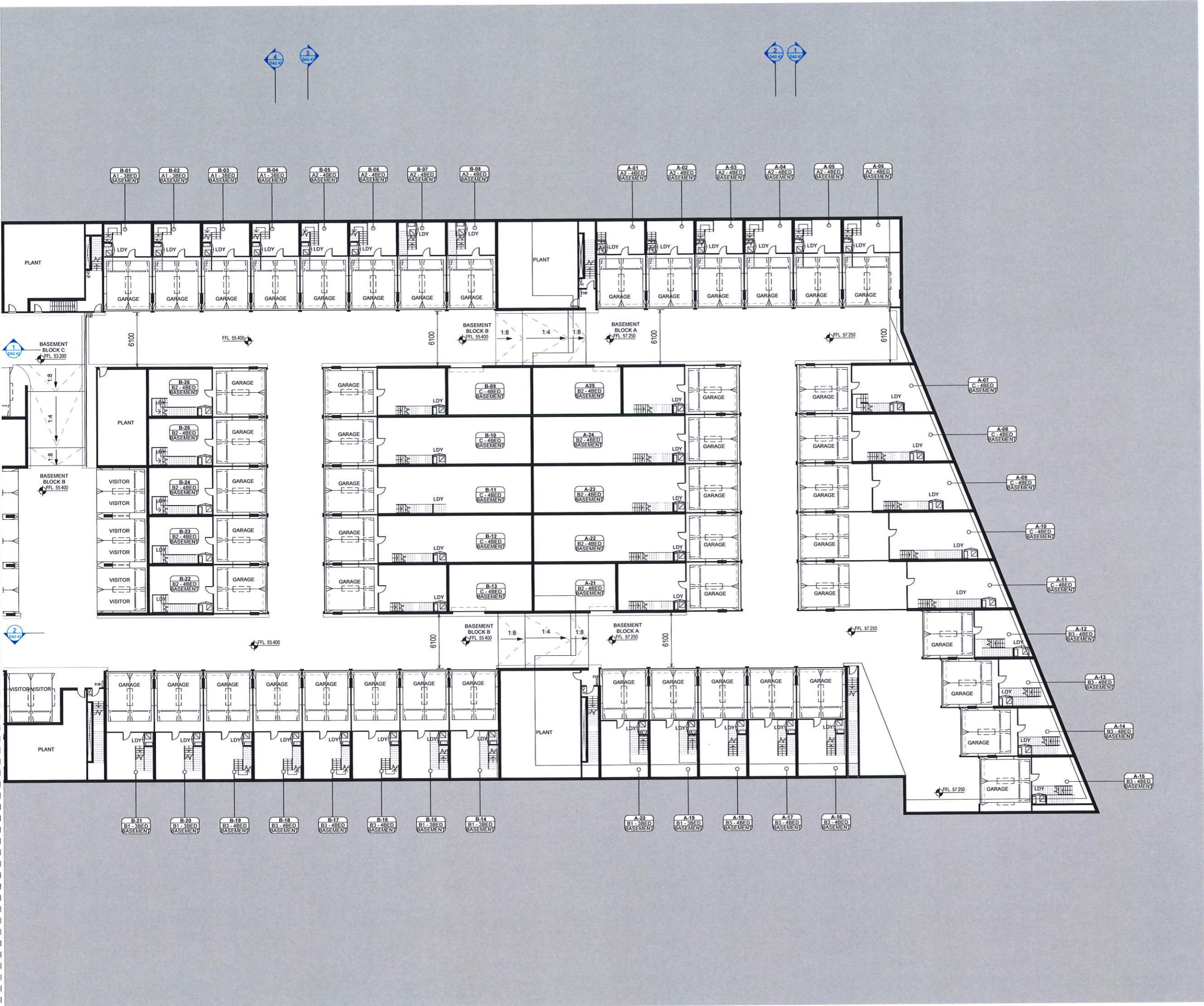
CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

DRAWING TITLE
RAIL CORRIDOR SECTIONS
 DRAWN BY Author
 CHECKED Checker
 DATE PRINTED 11/03/2020 9:50:18 AM
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 DRAWING NUMBER
DA1.08
 REVISION
A

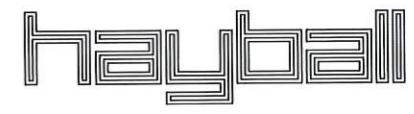
STATUS
DEVELOPMENT APPLICATION

| Rev | Description | Date |
|-----|-------------|------------|
| A | FOR DA | 10/03/2020 |

REFER TO DA2.10 FOR CONTINUATION



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9560 9329
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84005394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK A & B BASEMENT

Status
PRELIMINARY ISSUE

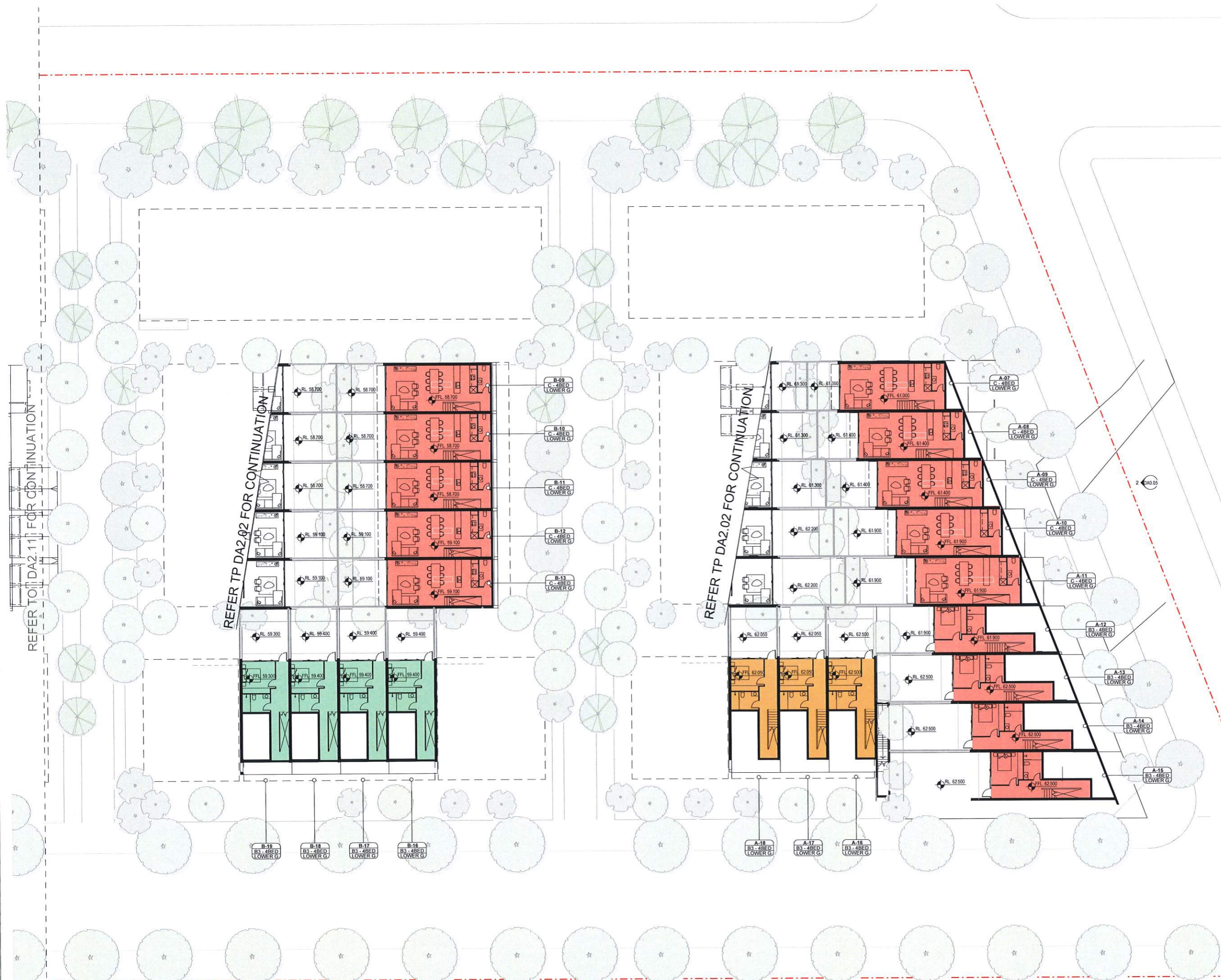
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|----------|------------|---------------------------|---------|
| TB | JS | 11/03/2020 10:16:08 AM | 1 : 200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.00 | F |

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4



| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 19/06/2019 |
| E | DEVELOPMENT APPLICATION | 05/04/2019 |
| D | DA FOR REVIEW | 22/03/2019 |
| C | DA FOR REVIEW | 15/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



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 T +61 3 9659 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7621, Richard Leonard 7622, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK A & B LOWER GROUND

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|---------|
| TB | JS | 11/03/2020 10:16:58 AM | 1 : 200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.01 | G |

Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured prior to commencement prior to the return of suspended shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

NEW PUBLIC ROAD

NEW PUBLIC ROAD

FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4



REFER DA212 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| J | FOR DA | 10/03/2020 |
| I | FOR DA | 17/07/2019 |
| H | FOR DA | 21/05/2019 |
| G | FOR DA | 19/05/2019 |
| F | DEVELOPMENT APPLICATION | 05/04/2019 |
| E | DA FOR REVIEW | 22/03/2019 |
| D | DA FOR REVIEW | 15/03/2019 |
| C | UPDATED MASTERPLAN | 13/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



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Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9329

Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK A & B GROUND

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|-------|
| TB | JS | 11/03/2020 10:19:34 AM | 1:200 |

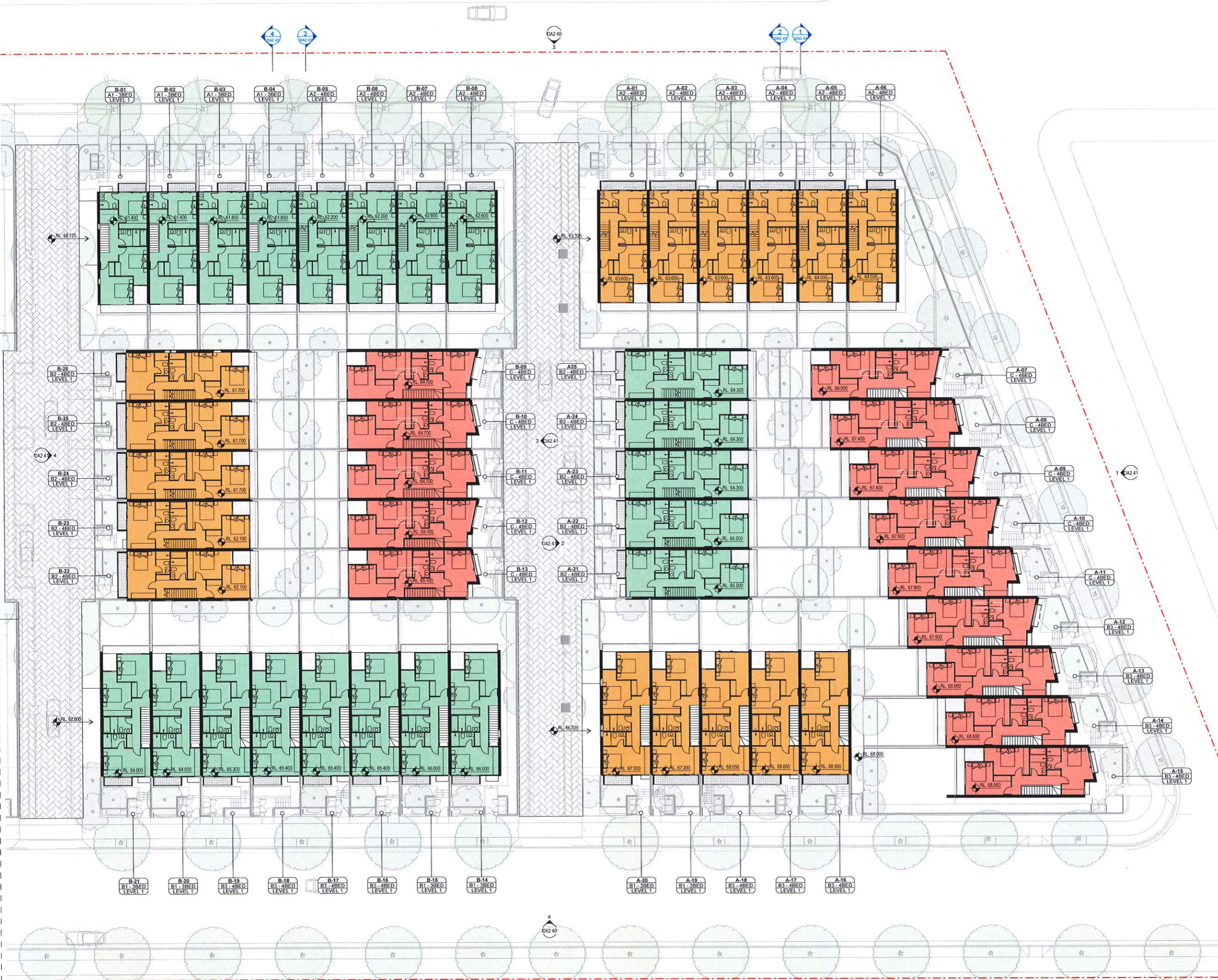
| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.02 | J |

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Contractor and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Contractor. © Copyright 2008 All rights reserved.

FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

REFER TO DA2.13 FOR CONTINUATION



| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK A & B LEVEL 1

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|--------------------------|---------|
| TB | JS | 11/03/2020 9:52:33 AM | 1 : 200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.03 | H |

Subs/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and shall not commence prior to the return of approved shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

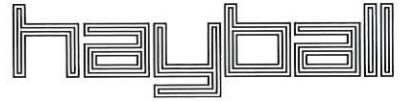
REFER TO DA2.14 FOR CONTINUATION



FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK A & B LEVEL 2

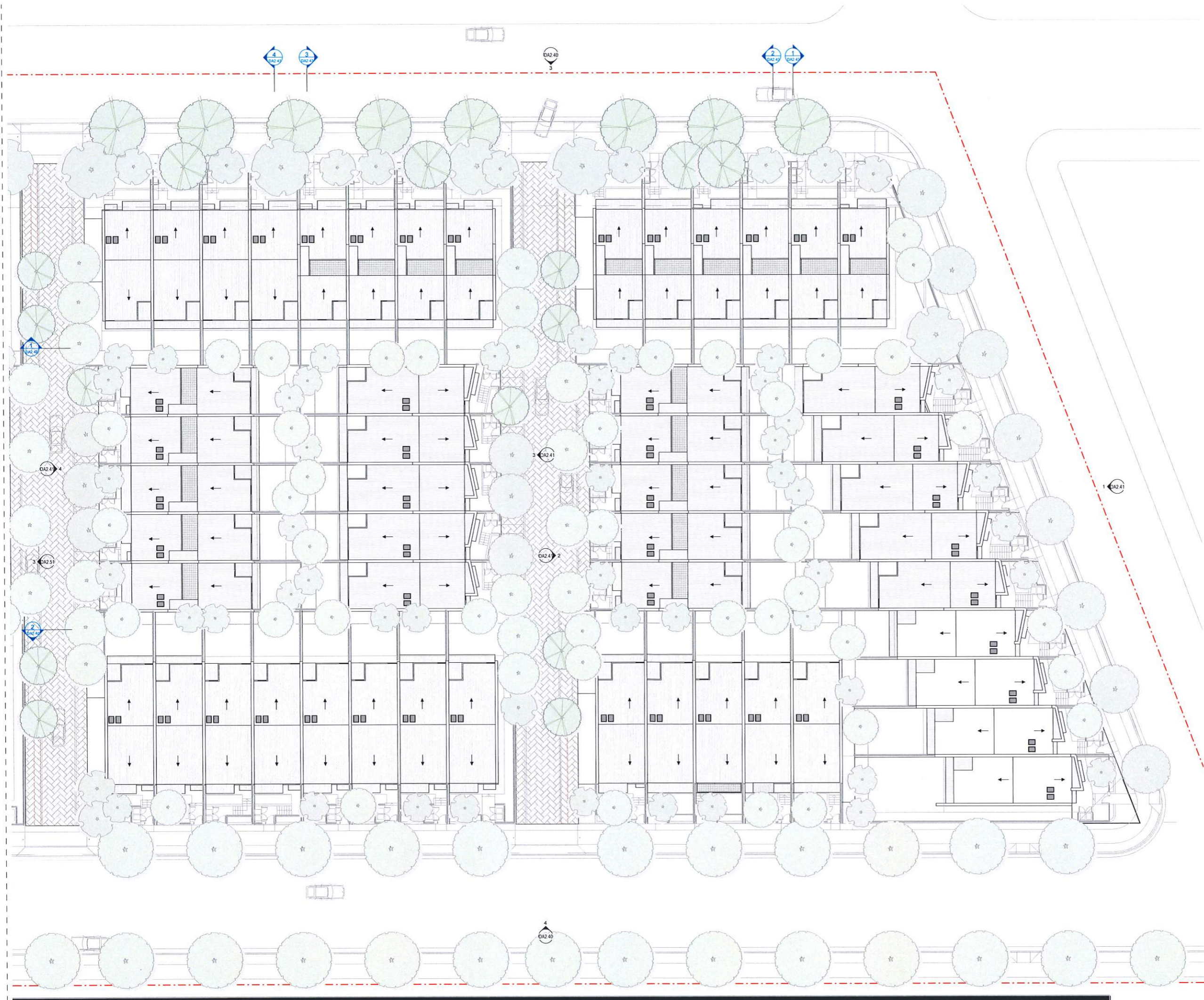
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.04 | G |

Builder/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured on-site commencing prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

REFER TO DA2.15 FOR CONTINUATION



| | | |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |
| Rev | Description | Date |



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ABN: 84005394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

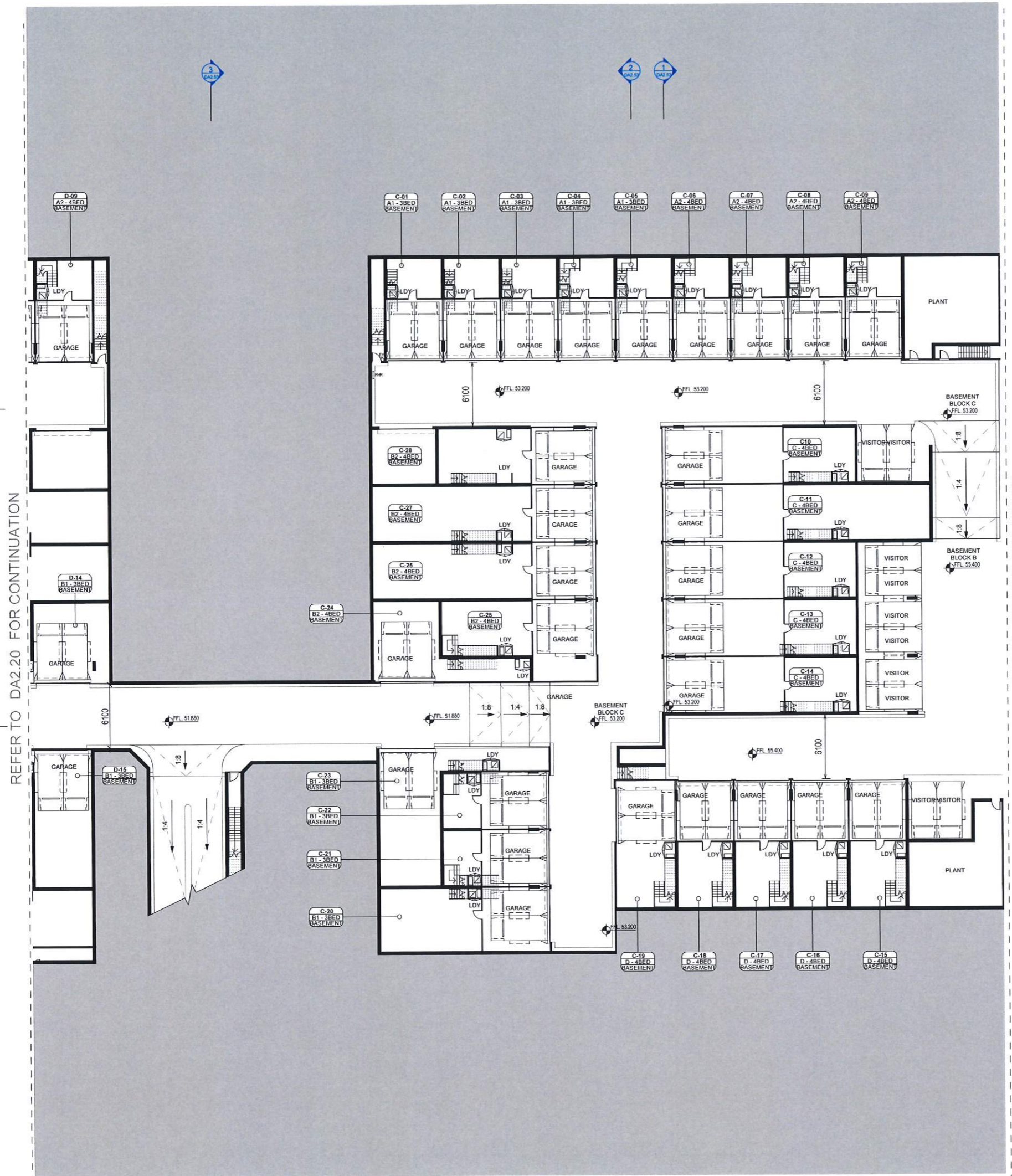
Drawing Title
BLOCK A & B ROOF

Status
PRELIMINARY ISSUE

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| Project No | Drawing No | Revision |
| 2281 | DA2.05 | G |

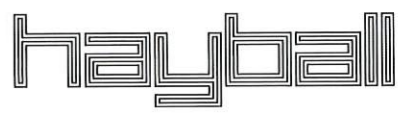
Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.



REFER TO DA2.20 FOR CONTINUATION

REFER TO DA2.00 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Old 4000
 T +61 3 9659 3544 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK C BASEMENT

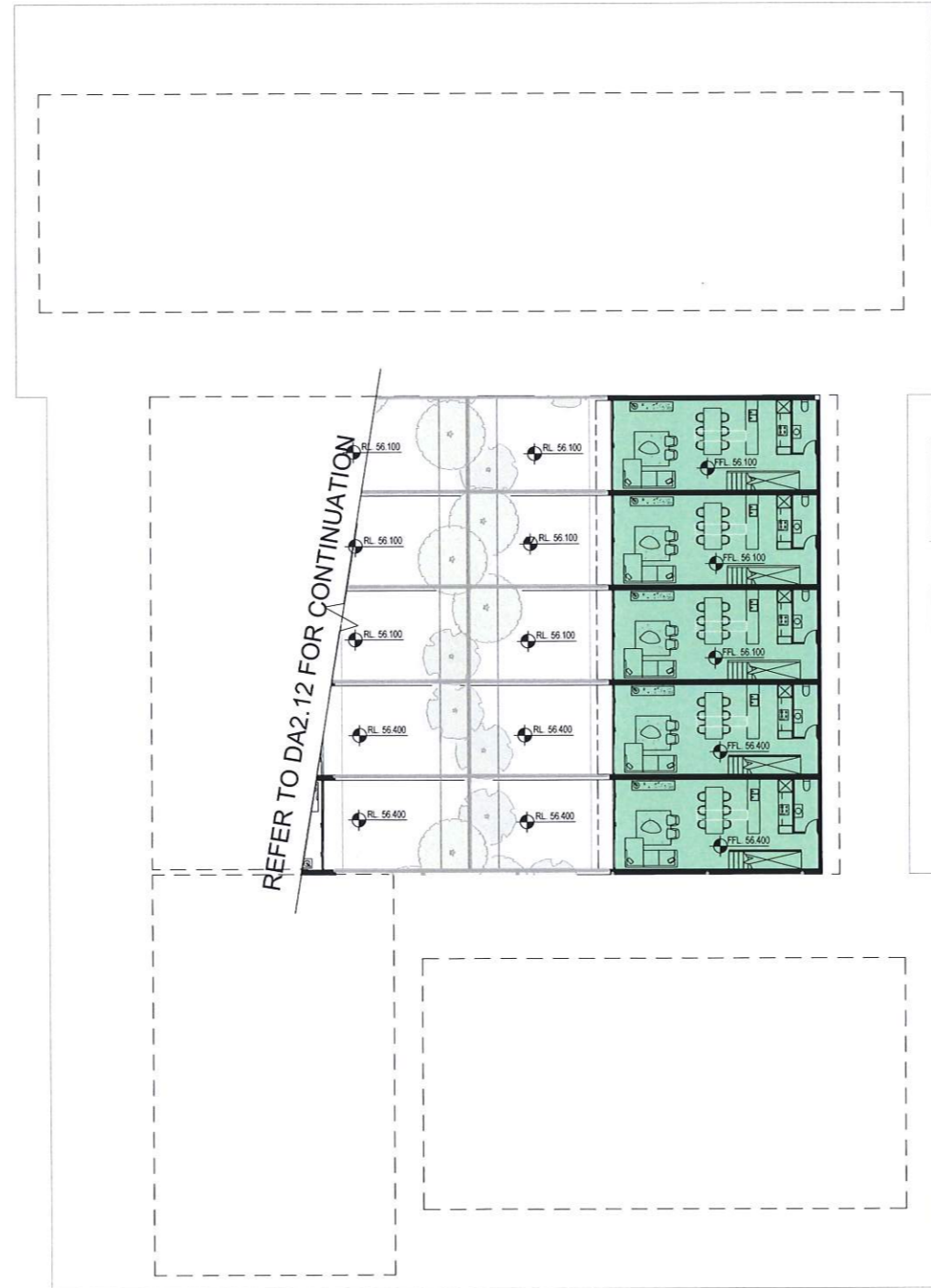
Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.10 | F |

Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured to that not commence prior to the return of stamped shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

REFER TO DA2.21 FOR CONTINUATION



REFER TO DA2.01 FOR CONTINUATION

FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 19/06/2019 |
| E | DEVELOPMENT APPLICATION | 05/04/2019 |
| D | DA FOR REVIEW | 22/03/2019 |
| C | DA FOR REVIEW | 15/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Sturt Street Southbank, VIC 3006 T +61 3 9699 3844
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9329
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK C LOWER GROUND

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|---------|
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.11 | G |

Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of stamped shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



- FACADE TYPES
- FACADE TYPE 1
 - FACADE TYPE 2
 - FACADE TYPE 3
 - FACADE TYPE 4

REFER TO DA2.22 FOR CONTINUATION

REFER TO DA2.02 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| J | FOR DA | 10/03/2020 |
| I | FOR DA | 17/07/2019 |
| H | FOR DA | 21/06/2019 |
| G | FOR DA | 19/06/2019 |
| F | DEVELOPMENT APPLICATION | 05/04/2019 |
| E | DA FOR REVIEW | 22/03/2019 |
| D | DA FOR REVIEW | 15/03/2019 |
| C | UPDATED MASTERPLAN | 13/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK C GROUND & PARK

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|---------|
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.12 | J |

Builder/Contractors shall verify job dimensions before any job commences. Figural dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 T +61 3 9599 3544 T +61 2 9550 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK C LEVEL 1 & PARK ROOF

Status
 PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|--------------------------|-------|
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.13 | H |

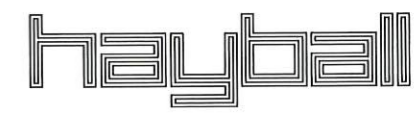
Buyers/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specifications. Other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

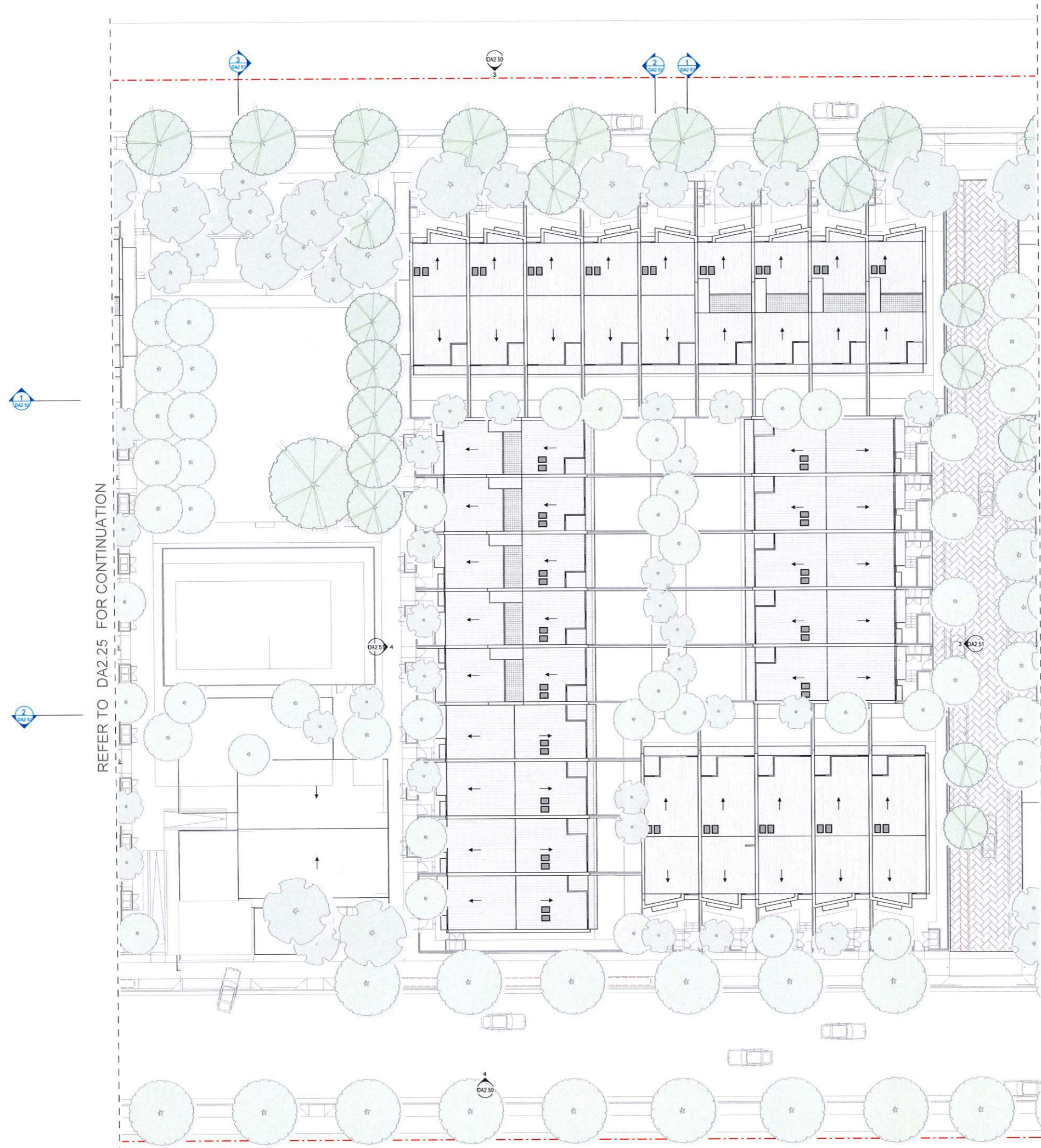
Drawing Title
 BLOCK C LEVEL 2

Status
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.14 | H |

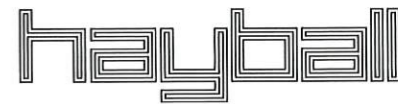
Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured prior to commencement prior to the return of requested shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



REFER TO DA2.25 FOR CONTINUATION

REFER TO DA2.05 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 17/07/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane Old 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK C ROOF

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|--------------------------|---------|
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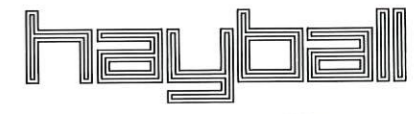
| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.15 | F |

Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Works shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured prior to commencement prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.



REFER TO DA2.10 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK D & E BASEMENT

Status
PRELIMINARY ISSUE

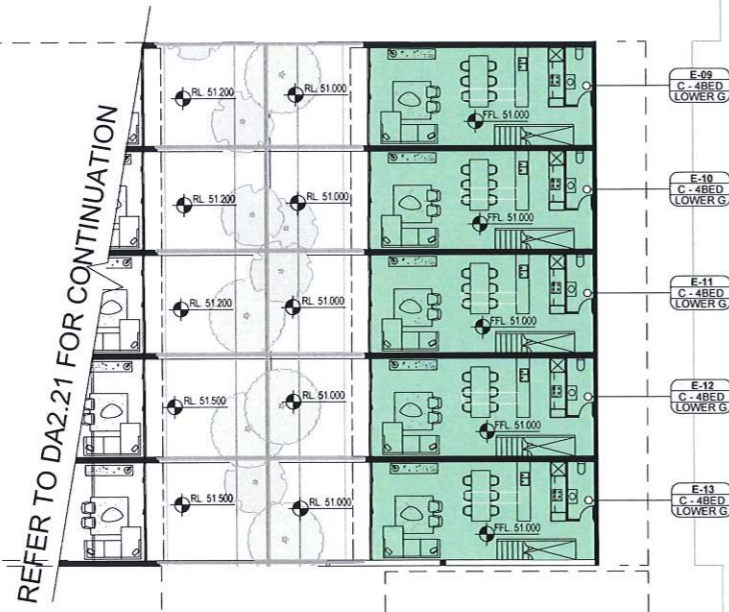
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.20 | F |

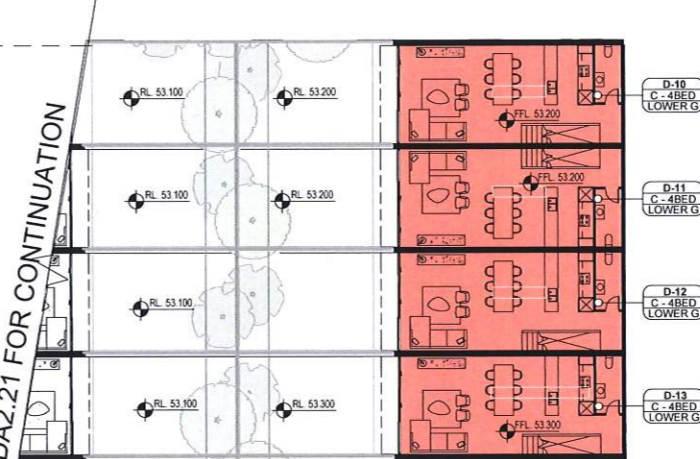
Builder/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

| FACADE TYPES | |
|---|---------------|
| | FACADE TYPE 1 |
| | FACADE TYPE 2 |
| | FACADE TYPE 3 |
| | FACADE TYPE 4 |

REFER TO DA2.31 FOR CONTINUATION



REFER TO DA2.21 FOR CONTINUATION



REFER TO DA2.11 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 21/06/2019 |
| F | FOR DA | 19/06/2019 |
| E | DEVELOPMENT APPLICATION | 05/04/2019 |
| D | DA FOR REVIEW | 22/03/2019 |
| C | DA FOR REVIEW | 15/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4135 Sturt Street Southbank VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

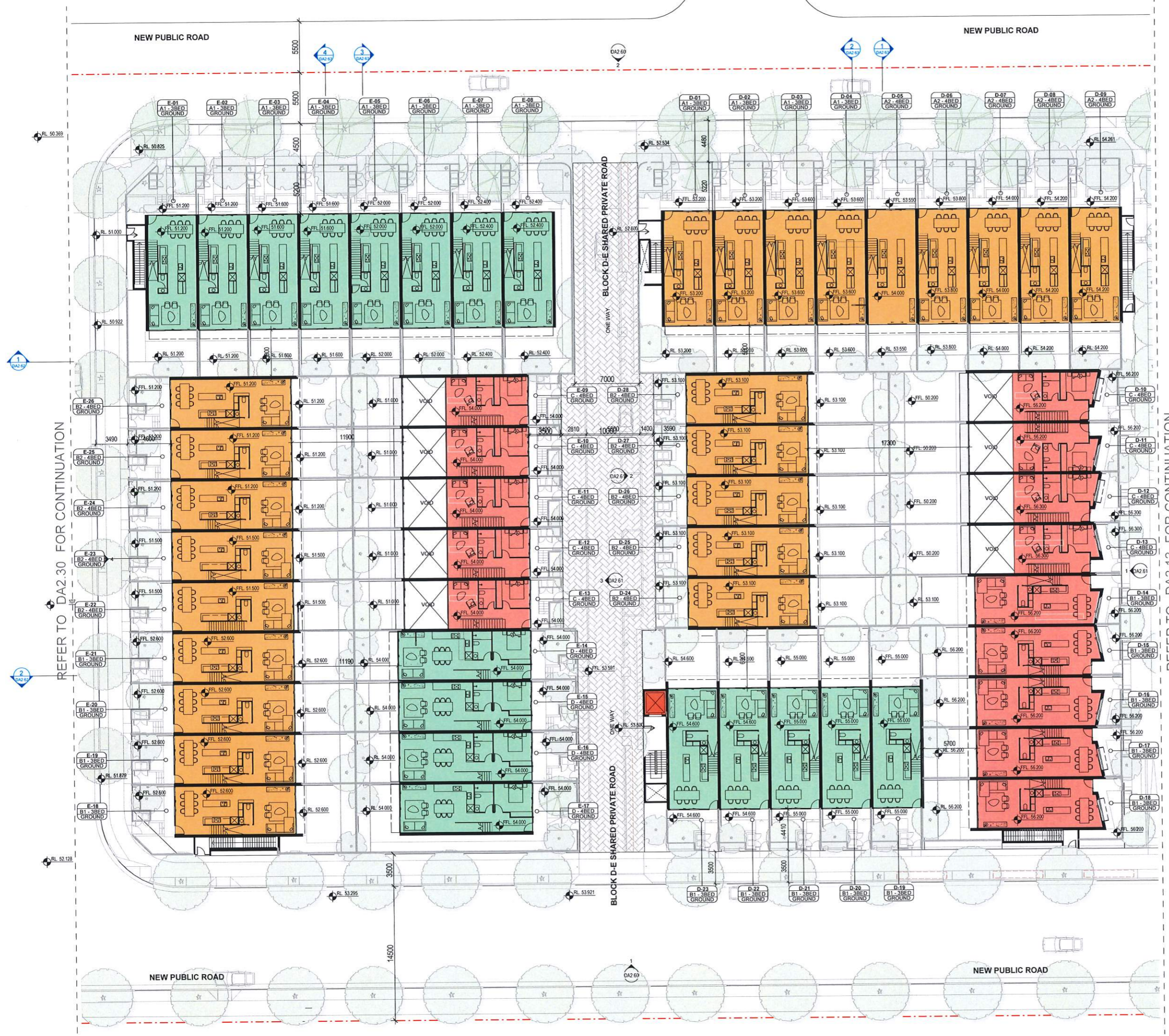
Drawing Title
BLOCK D & E LOWER GROUND

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|---------|
| Author | Checker | 11/03/2020 10:17:56 AM | 1 : 200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.21 | H |

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Contractor and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Contractor. © Copyright 2008 All rights reserved.



FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

| Rev | Description | Date |
|-----|-------------------------|------------|
| J | FOR DA | 10/03/2020 |
| I | FOR DA | 17/07/2019 |
| H | FOR DA | 21/06/2019 |
| G | FOR DA | 19/06/2019 |
| F | DEVELOPMENT APPLICATION | 05/04/2019 |
| E | DA FOR REVIEW | 22/03/2019 |
| D | DA FOR REVIEW | 15/03/2019 |
| C | UPDATED MASTERPLAN | 13/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 524 Queen Street, Brisbane Old 4000

ABN 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK D & E GROUND

Status
 PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|-------|
| Author | Checker | 11/03/2020 10:18:28 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.22 | J |

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

REFER TO DA2.30 FOR CONTINUATION

REFER TO DA2.12 FOR CONTINUATION

FAÇADE TYPES

- FAÇADE TYPE 1
- FAÇADE TYPE 2
- FAÇADE TYPE 3
- FAÇADE TYPE 4



| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9560 9329
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK D & E LEVEL 1

Status
 PRELIMINARY ISSUE

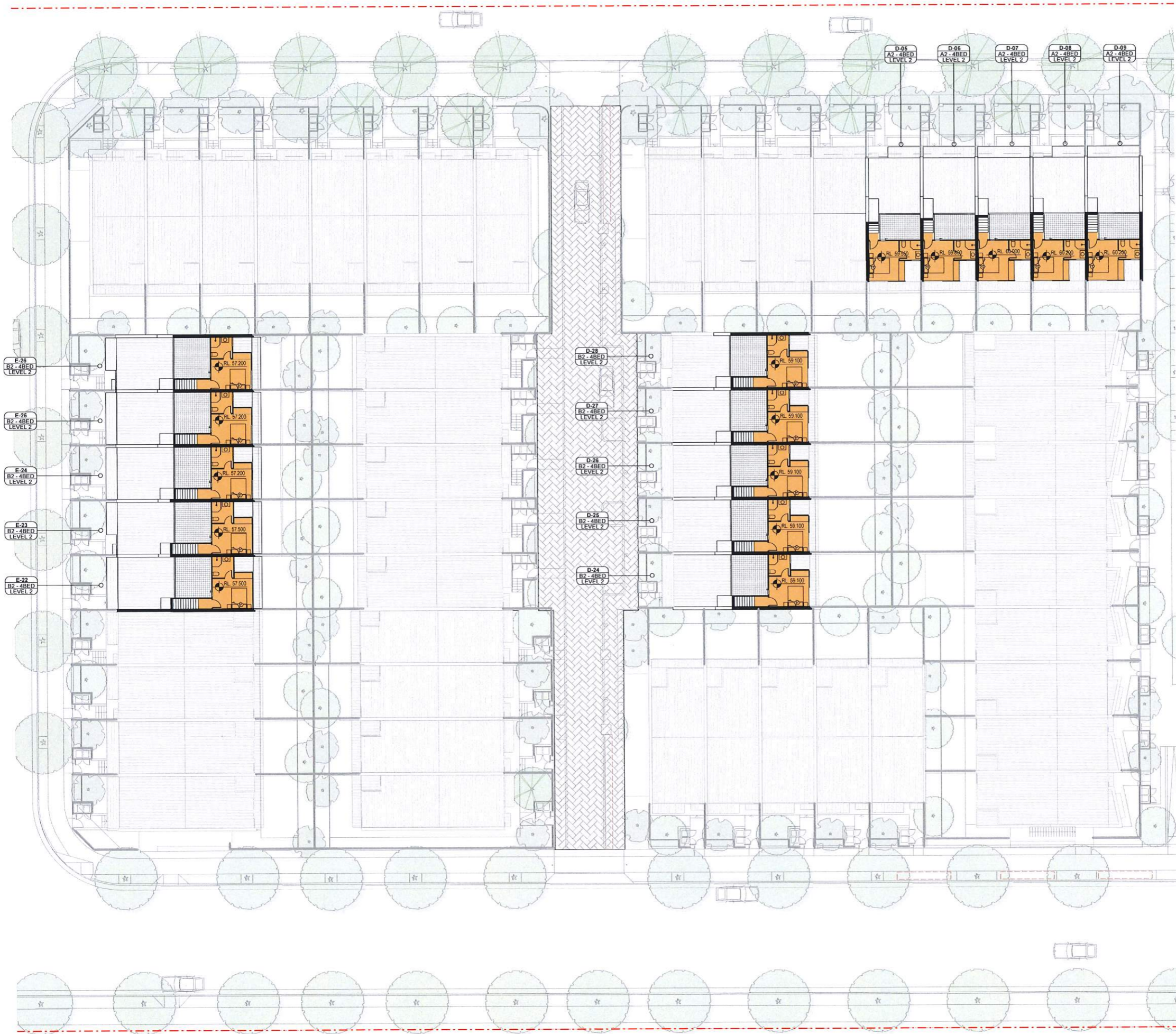
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.23 | H |

Buyers/Contractors shall verify job dimensions before any job commences. If figured dimensions shall be in accordance with building work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured therefrom commencing prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4



REFER TO DA2.14 FOR CONTINUATION

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9650 9329
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK D & E LEVEL 2

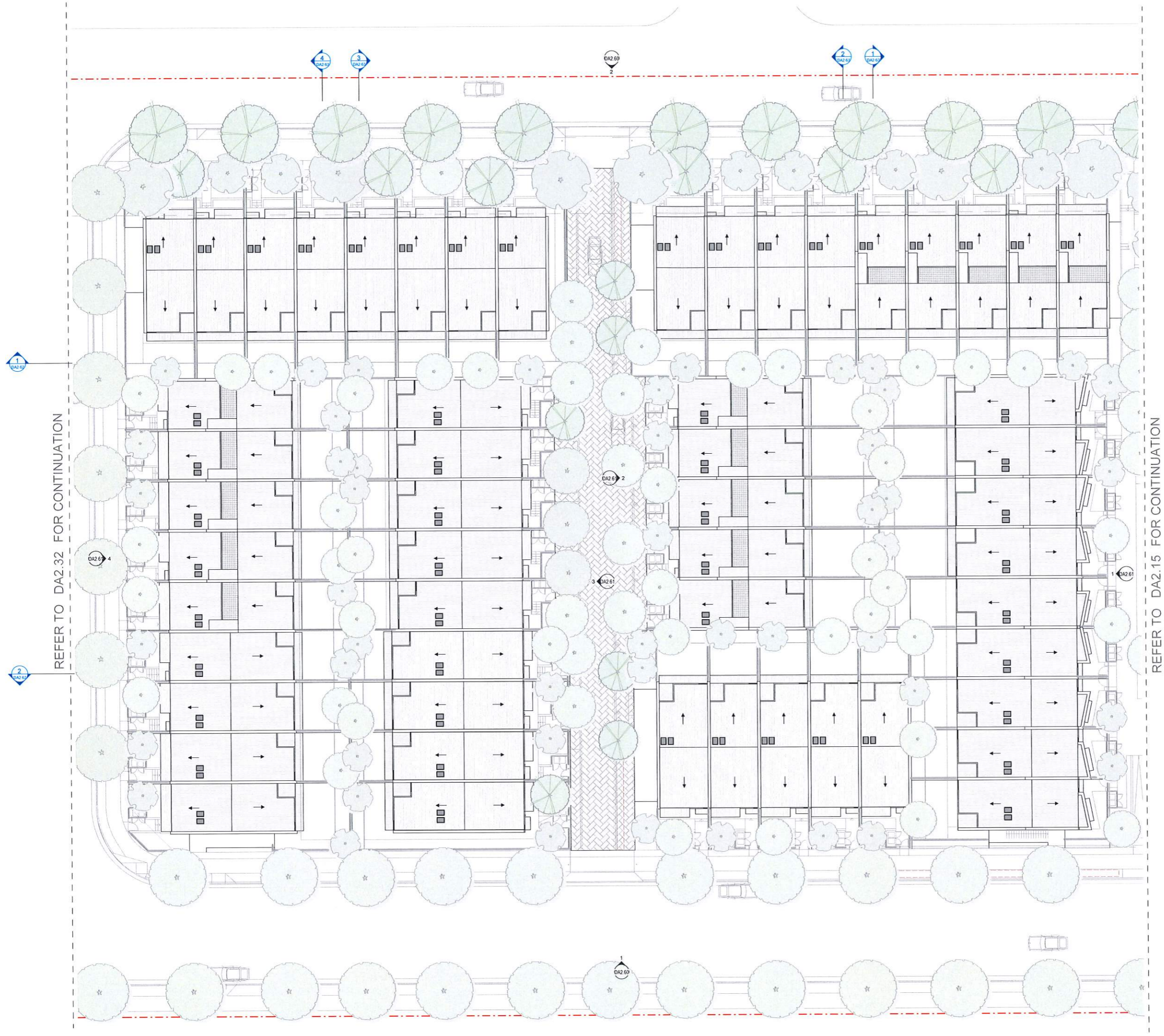
Status
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.24 | G |

Builders/Contractors shall verify job dimensions before any job commences. Equal dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

BLOCK D & E LEVEL 2 NO LANDSCAPE



REFER TO DA2.32 FOR CONTINUATION

REFER TO DA2.15 FOR CONTINUATION

| | | |
|-----|-------------------------|------------|
| Rev | Description | Date |
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

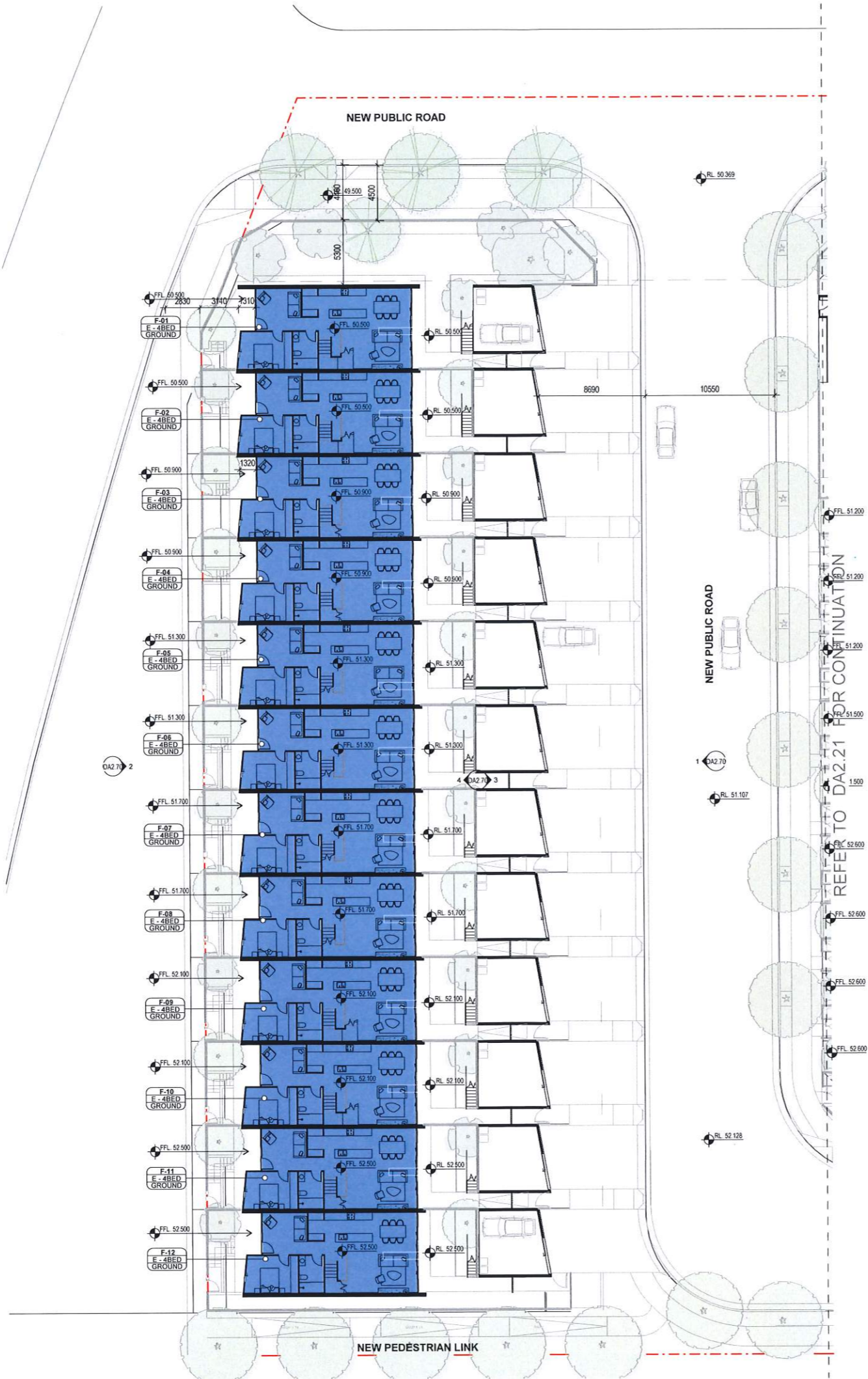
Drawing Title
BLOCK D & E ROOF

Status
PRELIMINARY ISSUE

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| Author | Checker | 11/03/2020 9:58:10 AM | 1 : 200 |

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| Project No | Drawing No | Revision | |
| 2281 | DA2.25 | G | |

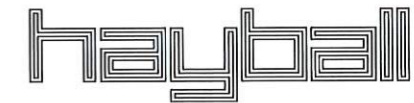
Builder/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



FACADE TYPES

| | |
|--|---------------|
| | FACADE TYPE 1 |
| | FACADE TYPE 2 |
| | FACADE TYPE 3 |
| | FACADE TYPE 4 |

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 19/06/2019 |
| F | DEVELOPMENT APPLICATION | 05/04/2019 |
| E | DA FOR REVIEW | 22/03/2019 |
| D | DA FOR REVIEW | 15/03/2019 |
| C | UPDATED MASTERPLAN | 13/03/2019 |
| B | FOR INFORMATION | 31/08/2018 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK F GROUND

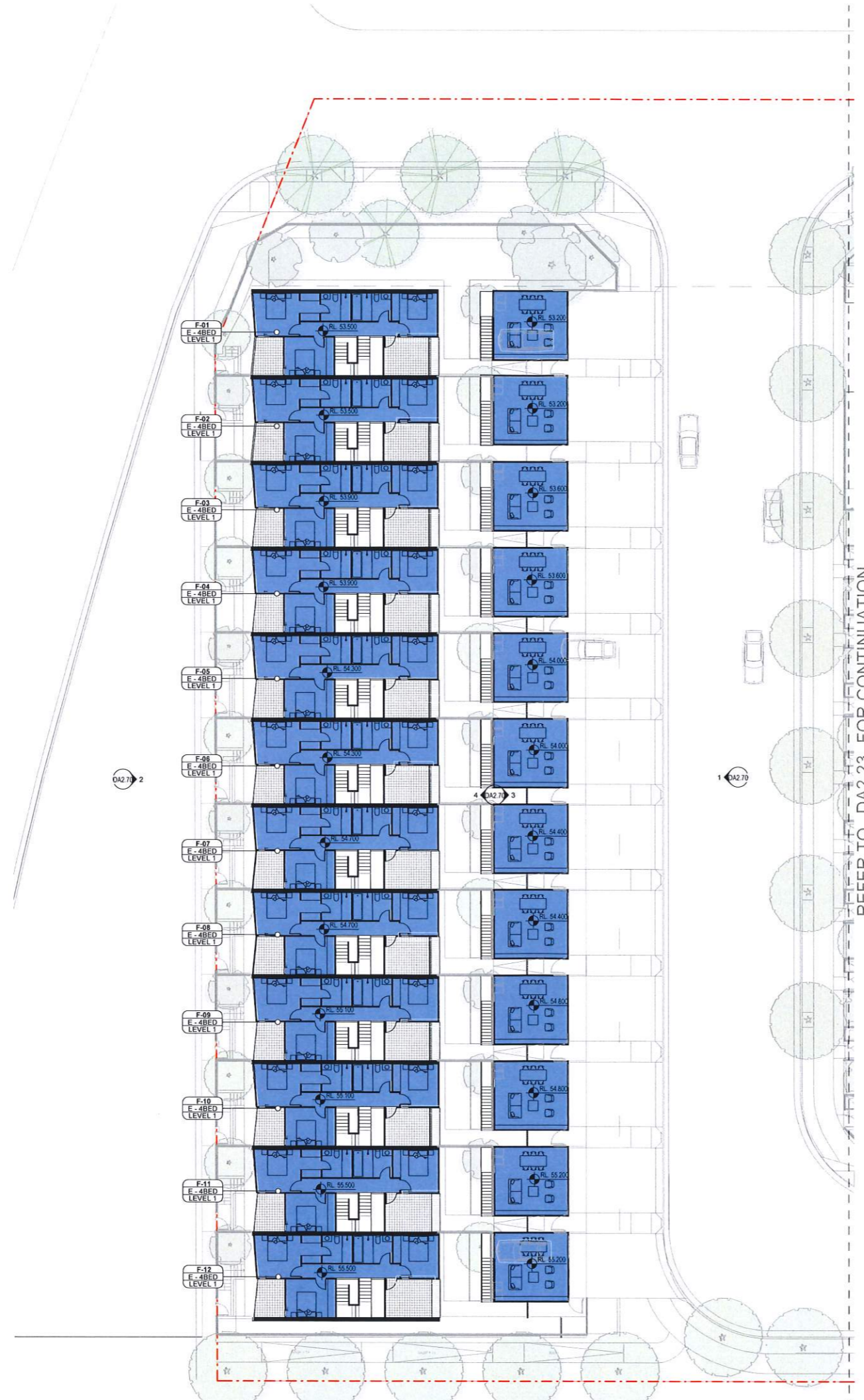
Status
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| Drawn By | Checked By | Date Printed | Scale |
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.30 | H |

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

BLOCK F GROUND NO LANDSCAPE



FACADE TYPES

- FACADE TYPE 1
- FACADE TYPE 2
- FACADE TYPE 3
- FACADE TYPE 4

| G | FOR DA | 10/03/2020 |
|-----|-------------------------|------------|
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |
| Rev | Description | Date |



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 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 64065394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8029

Project Title

51 Terry Rd

Project Address

51 Terry Rd, Rouse Hill NSW

Drawing Title

BLOCK F LEVEL 1

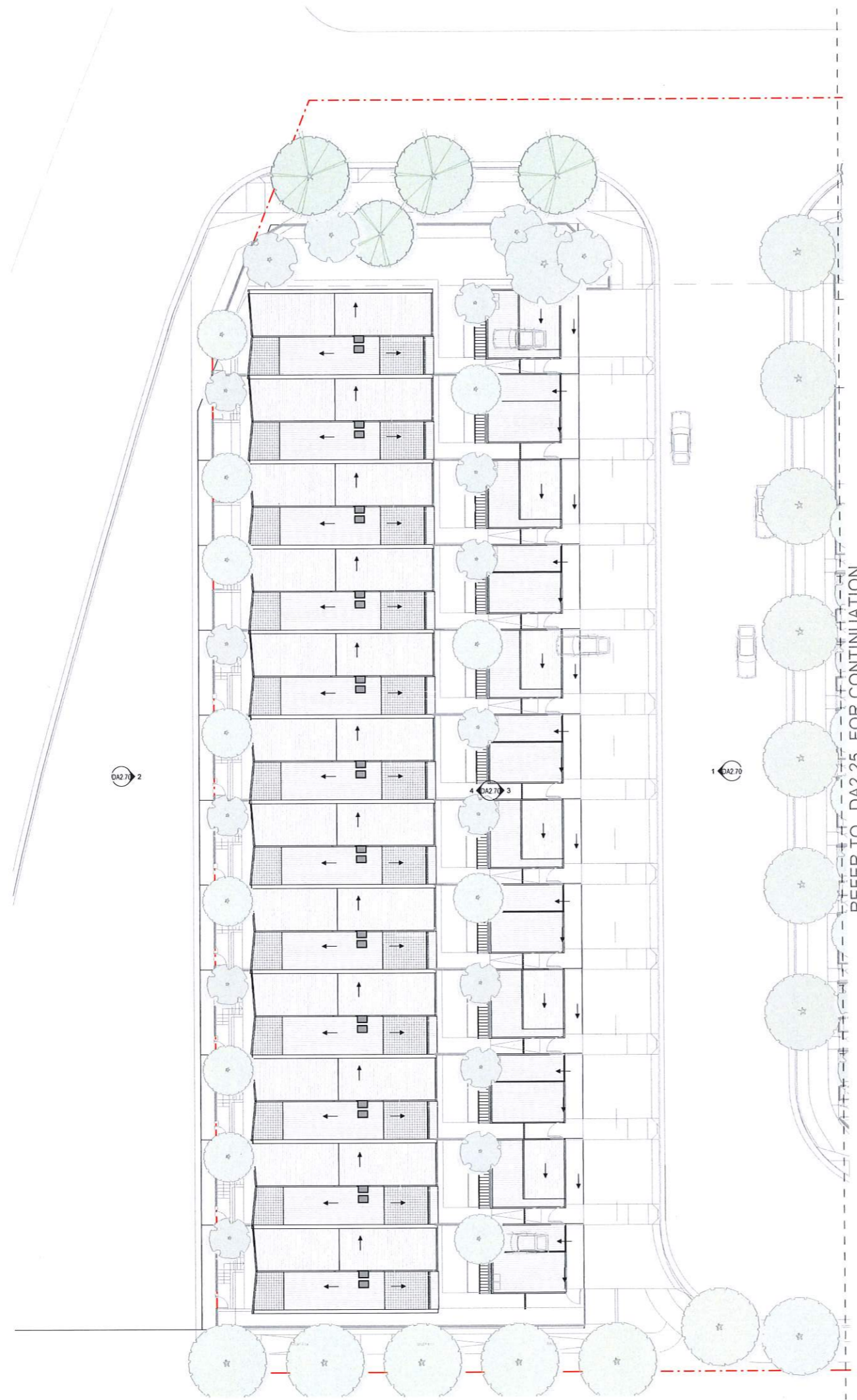
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PRELIMINARY ISSUE

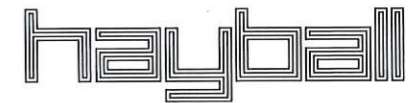
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.31 | G |

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, site drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000 T +61 7 3211 9821

ABN 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

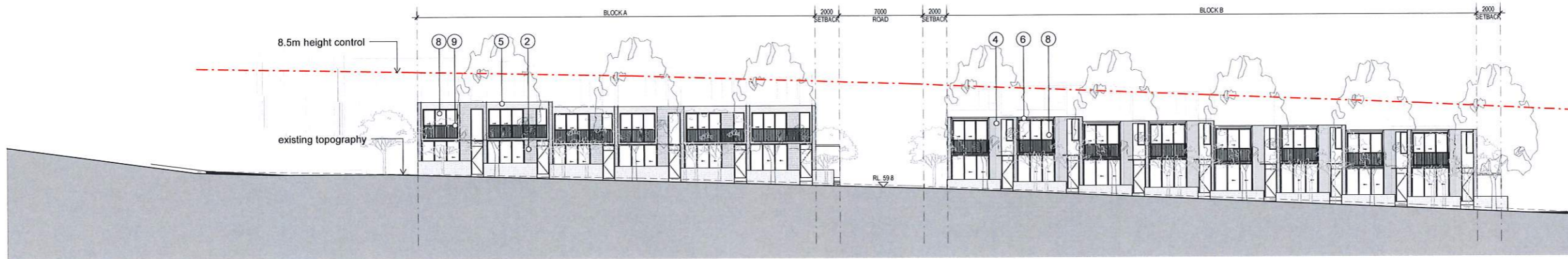
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BLOCK F ROOF

Status
PRELIMINARY ISSUE

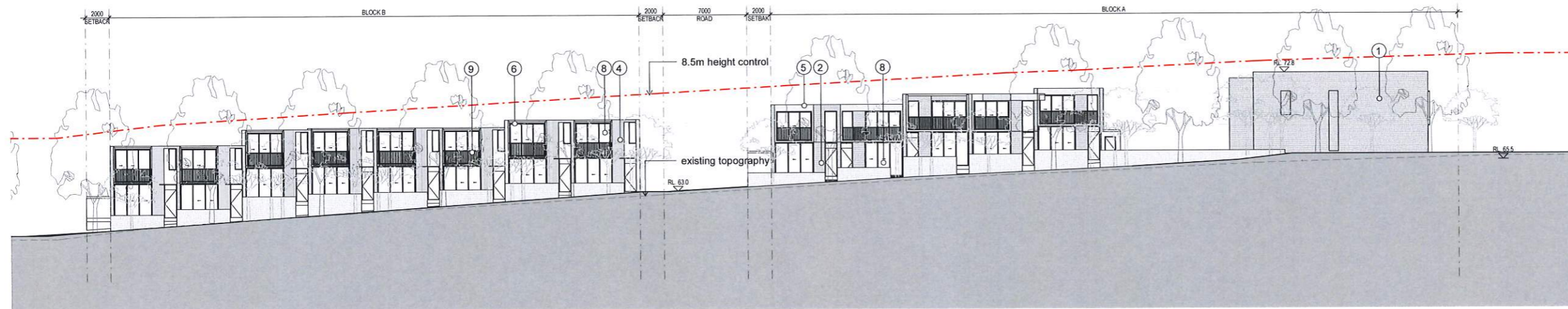
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| TB | JS | 11/03/2020 9:58:54 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.32 | F |

Builder/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, order drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings, signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



3 BLOCK A & B - NORTH ELEVATION
DA2.02 1:200



4 BLOCK A & B - SOUTH ELEVATION
DA2.02 1:200

MATERIAL LEGEND:



| | | |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |
| Rev | Description | Date |



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 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9329
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK A & B ELEVATIONS

Status
 PRELIMINARY ISSUE

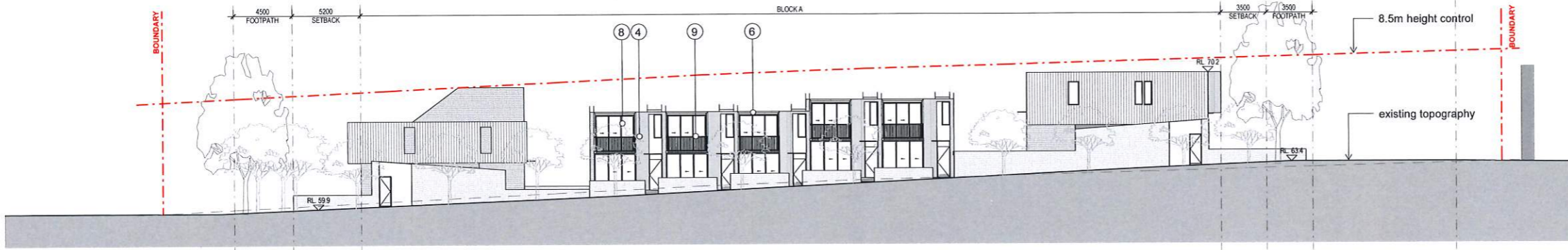
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.40 | G |

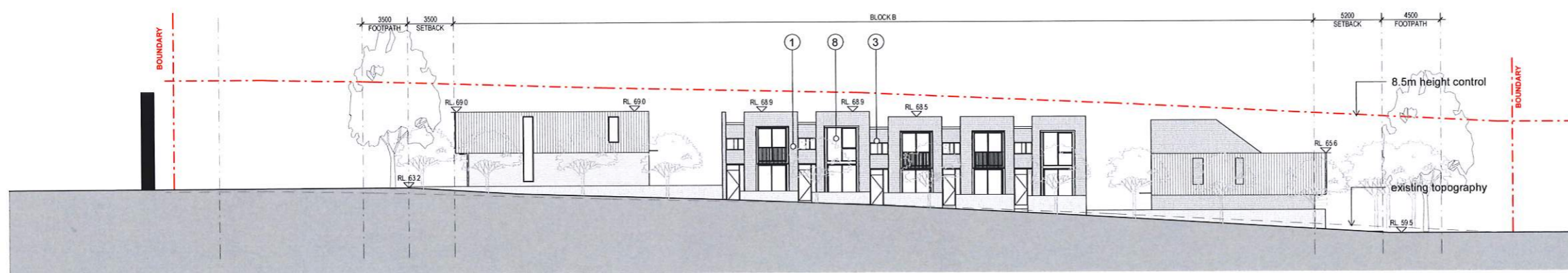
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and the manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



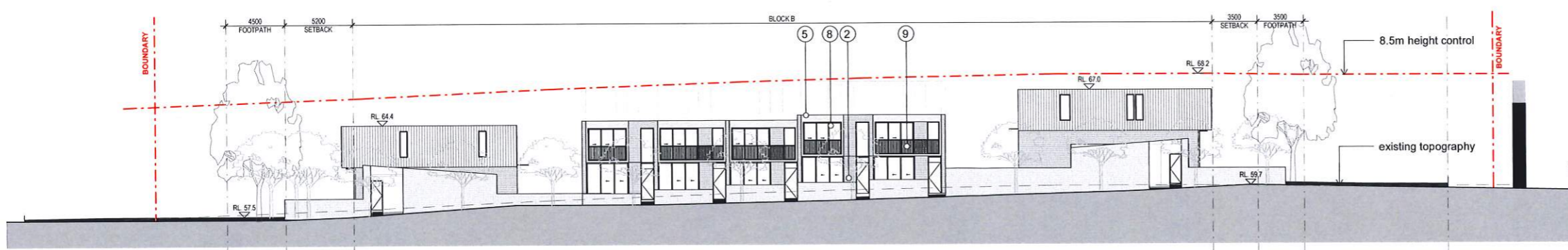
1 BLOCK A - EAST ELEVATION
DA2.02 1:200



2 BLOCK A - WEST ELEVATION
DA2.02 1:200

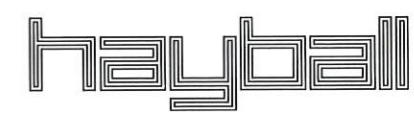


3 BLOCK B - EAST ELEVATION
DA2.02 1:200



4 BLOCK B - WEST ELEVATION
DA2.02 1:200

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK A & B ELEVATIONS

Status
PRELIMINARY ISSUE

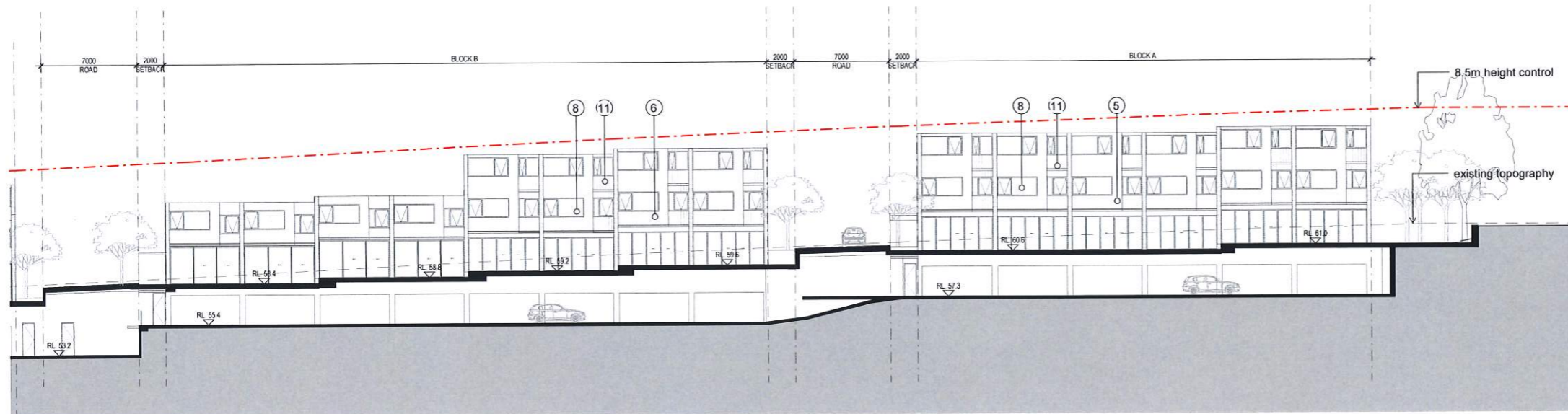
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.41 | G |

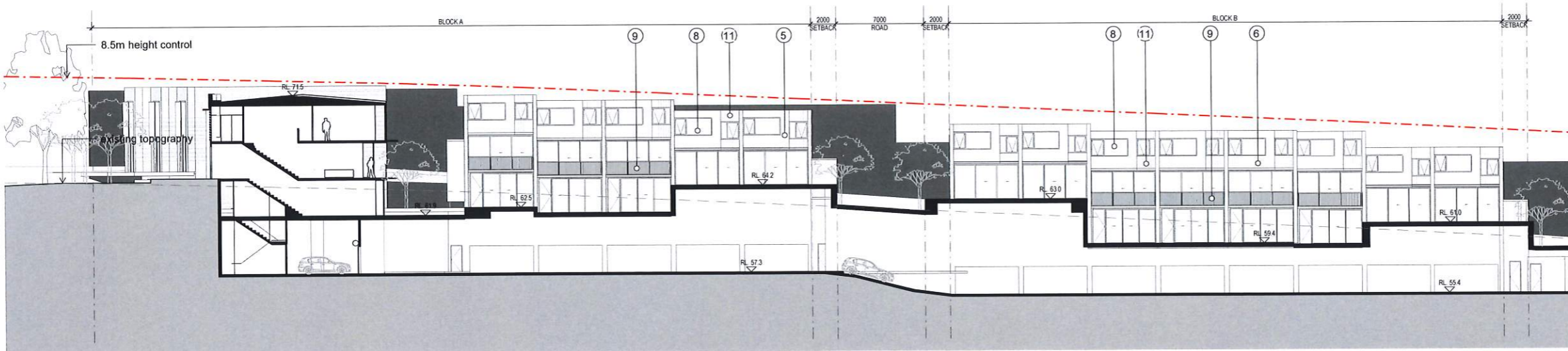
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

MATERIAL LEGEND:





1 BLOCK A & B SECTION 1
DA2.00 1/200



2 BLOCK A & B SECTION 2
DA2.00 1/200



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

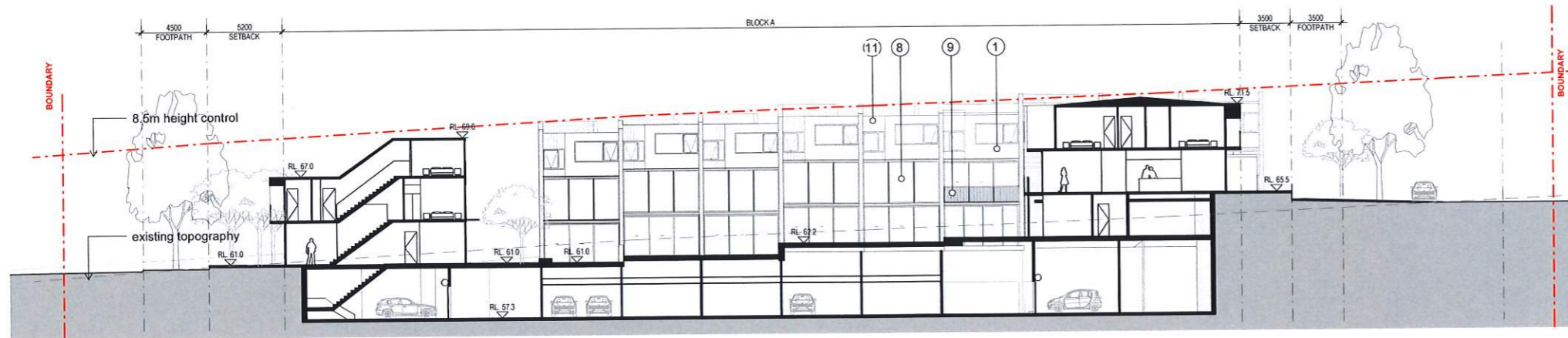
Drawing Title
BLOCK A & B SECTIONS

Status
PRELIMINARY ISSUE

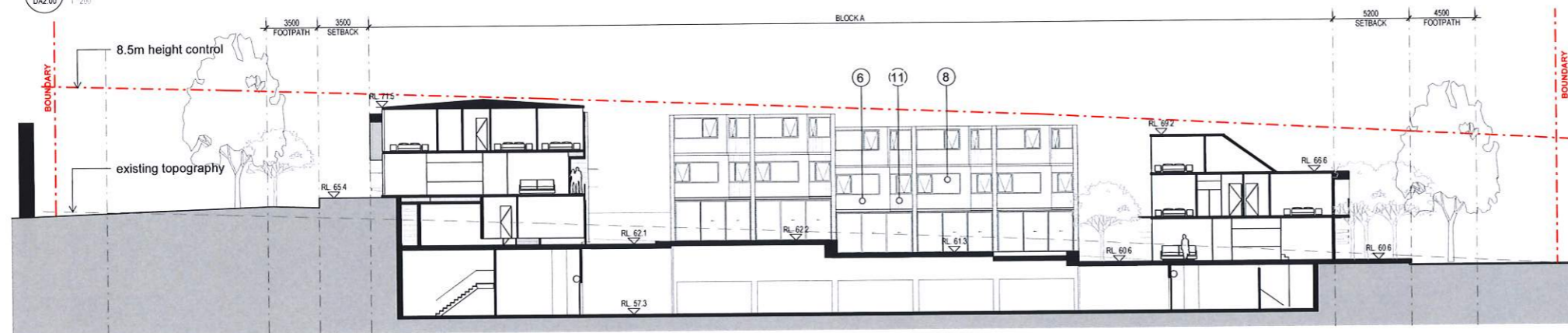
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.42 | F |

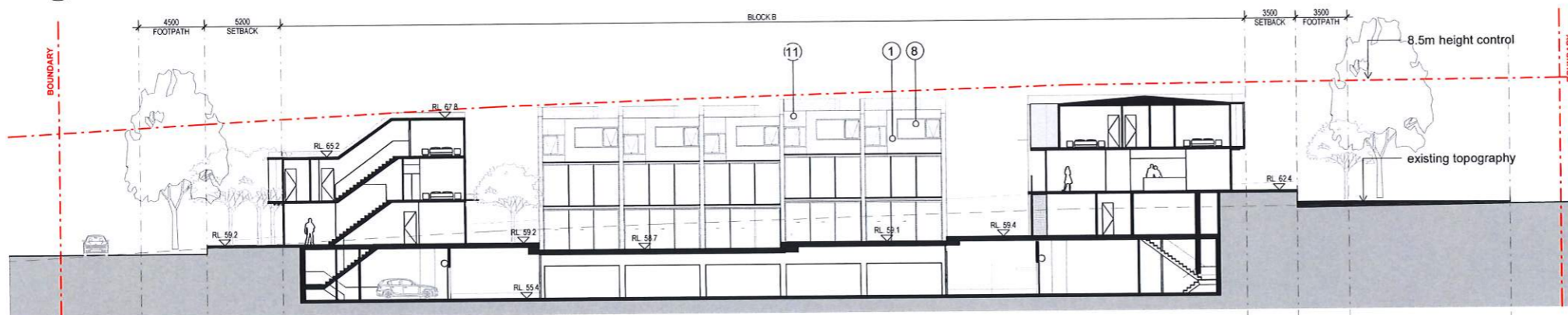
Builder/Contractors shall verify job dimensions before any job commences. Equal dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Contractor and approved prior to commencement prior to the return of inspected shop drawings signed by the Architect/Contractor. © Copyright 2008 All rights reserved.



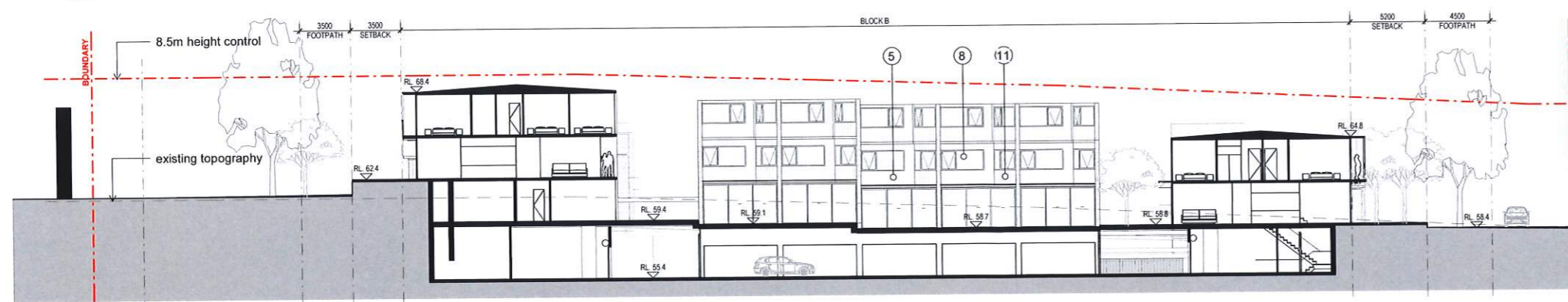
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DA2.00 1:200



2 BLOCK A SECTION 2
DA2.00 1:200



3 BLOCK B SECTION 1
DA2.00 1:200

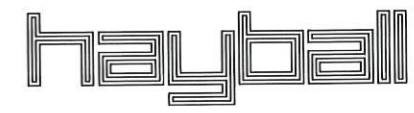


4 BLOCK B SECTION 2
DA2.00 1:200

MATERIAL LEGEND:



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Sturt Street Southbank VIC 3006
Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

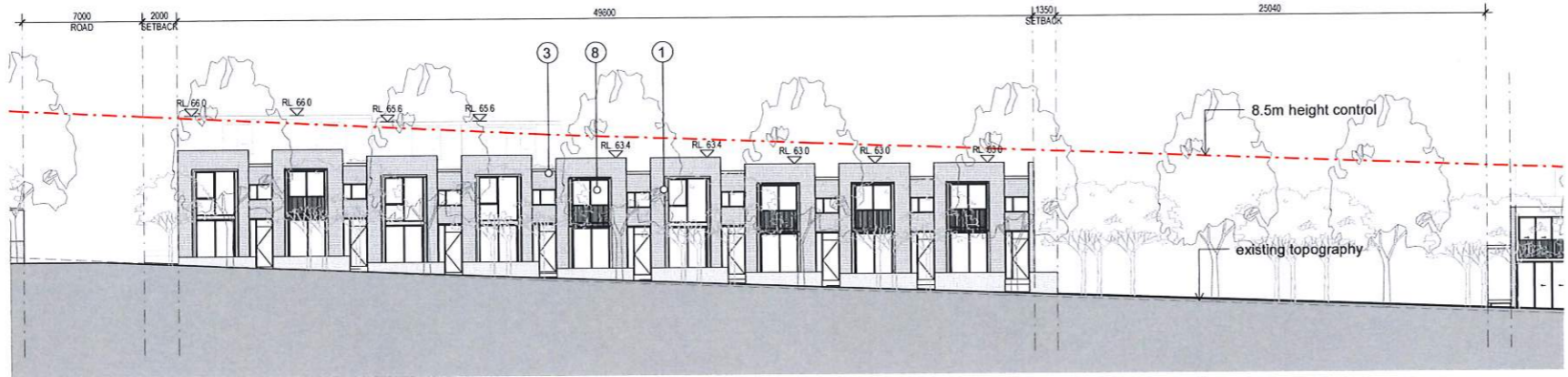
Drawing Title
BLOCK A & B SECTIONS

Status
PRELIMINARY ISSUE

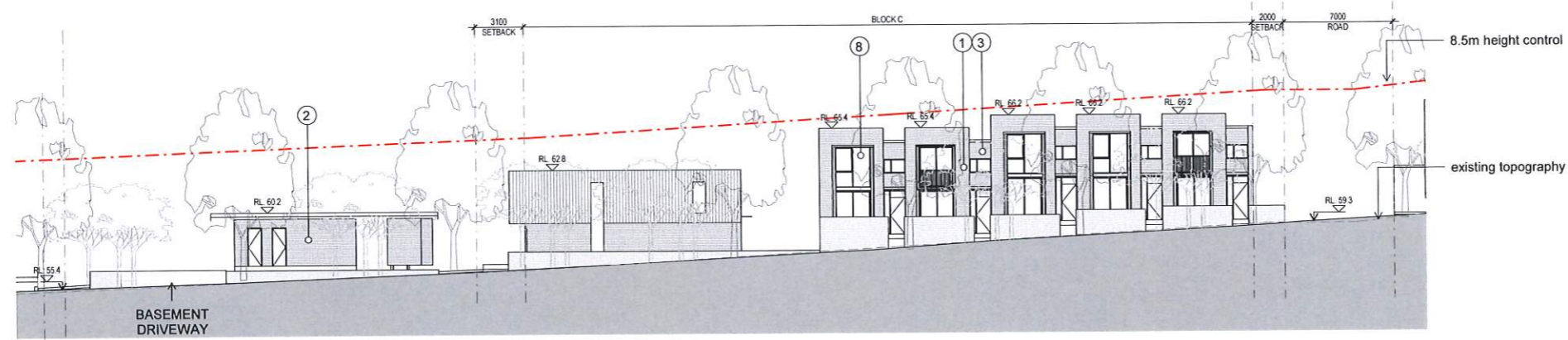
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| TB | JS | 11/03/2020 10:00:15 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.43 | F |

Bulk/Contractors shall verify job dimensions before any job commences. Figned dimensions shall be provided on scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufactured shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



3 BLOCK C - NORTH ELEVATION
DA2.02 1:200



4 BLOCK C - SOUTH ELEVATION
DA2.02 1:200

MATERIAL LEGEND:



| G | FOR DA | 10/03/2020 |
|-----|-------------------------|------------|
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |
| Rev | Description | Date |



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 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

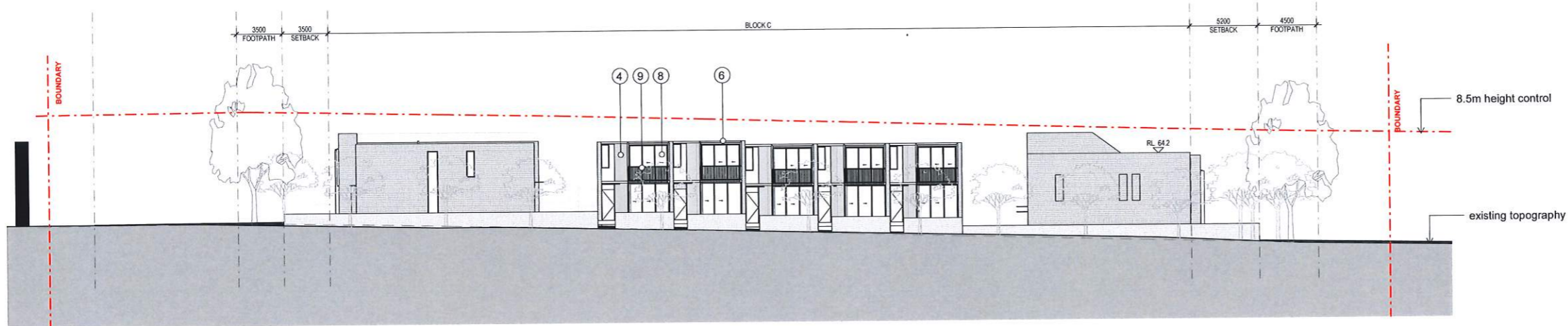
Drawing Title
BLOCK C & PARK ELEVATIONS

Status
PRELIMINARY ISSUE

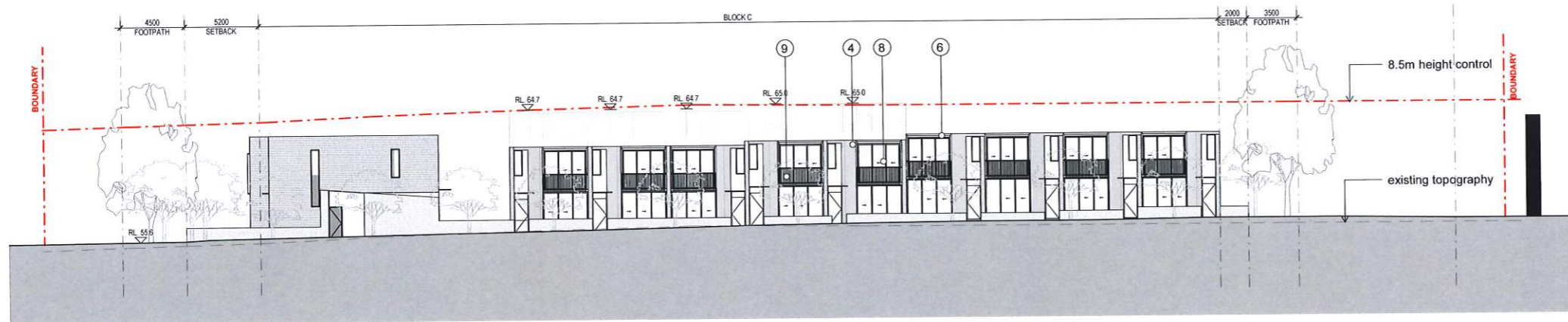
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| TB | JS | 11/03/2020 10:00:31 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.50 | G |

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of accepted shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



3 BLOCK C - EAST ELEVATION
DA2 02 1:200



4 BLOCK C - WEST ELEVATION
DA2 12 1:200

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

Drawing Title
BLOCK C & PARK ELEVATIONS

Status
PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|-------|
| TB | JS | 11/03/2020 10:00:48 AM | 1:200 |

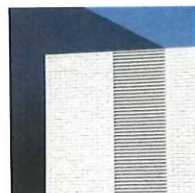
| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.51 | F |

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

MATERIAL LEGEND:



1. RED BRICK



2. WHITE BRICK



3. GREY BRICK



4. TIMBER LOOK CLADDING 1



5. TIMBER LOOK CLADDING 2



6. NATURAL FINISH FIBRE CEMENT CLADDING



7. METAL CLADDING



8. CLEAR GLASS



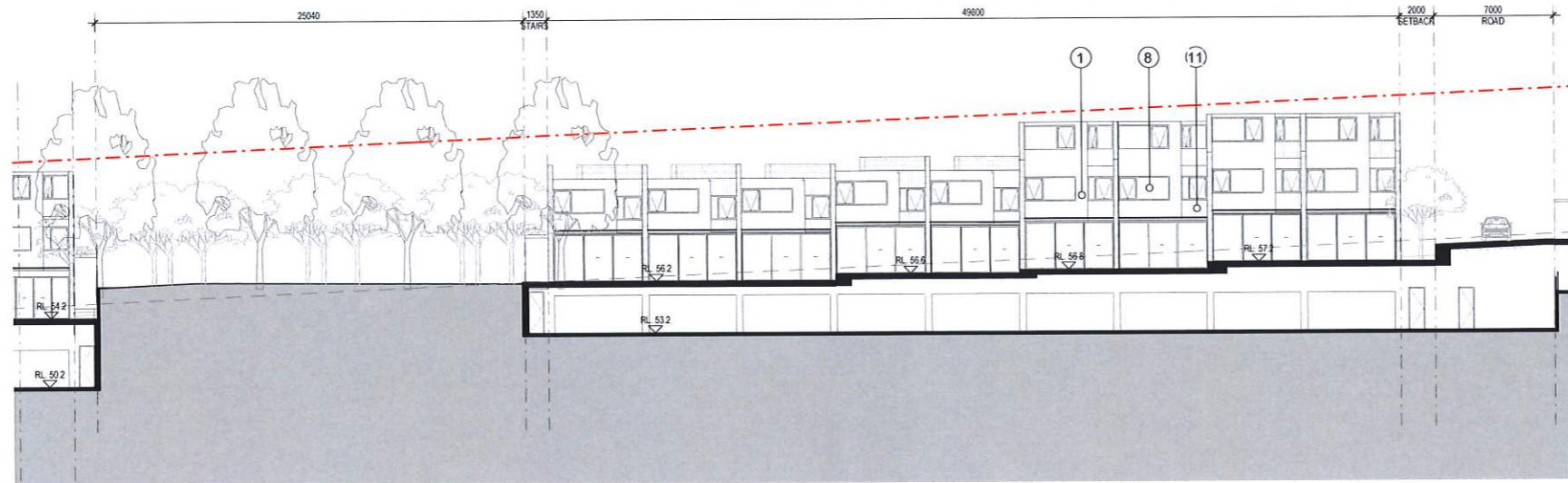
9. DARK CHARCOAL POWDERCOATED STEEL BALUSTRADE



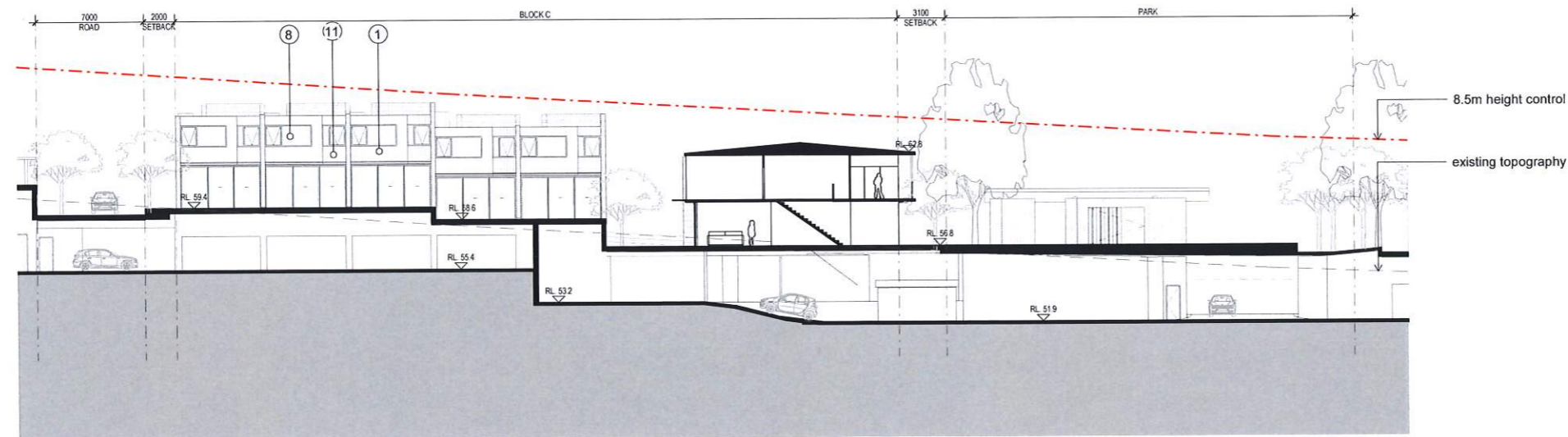
10. TIMBER LOOK SCREEN



11. WHITE PAINTED FIBRE CEMENT CLADDING



1 BLOCK C SECTION 1
DA2.10 1:200



2 BLOCK C SECTION 2
DA2.10 1:200

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000
 T +61 3 9599 3644 T +61 2 9550 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK C & PARK SECTIONS

Status
 PRELIMINARY ISSUE

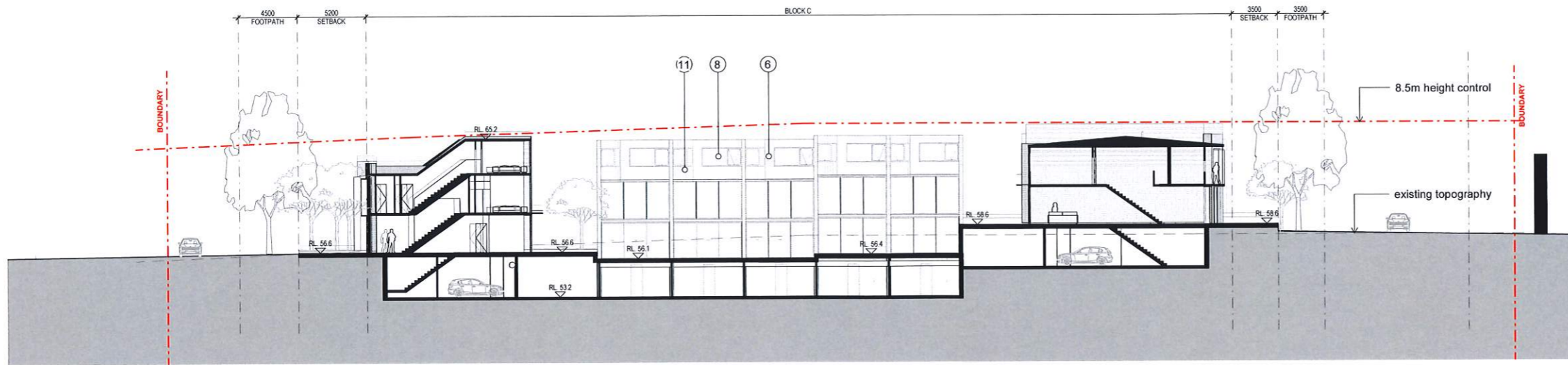
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.52 | F |

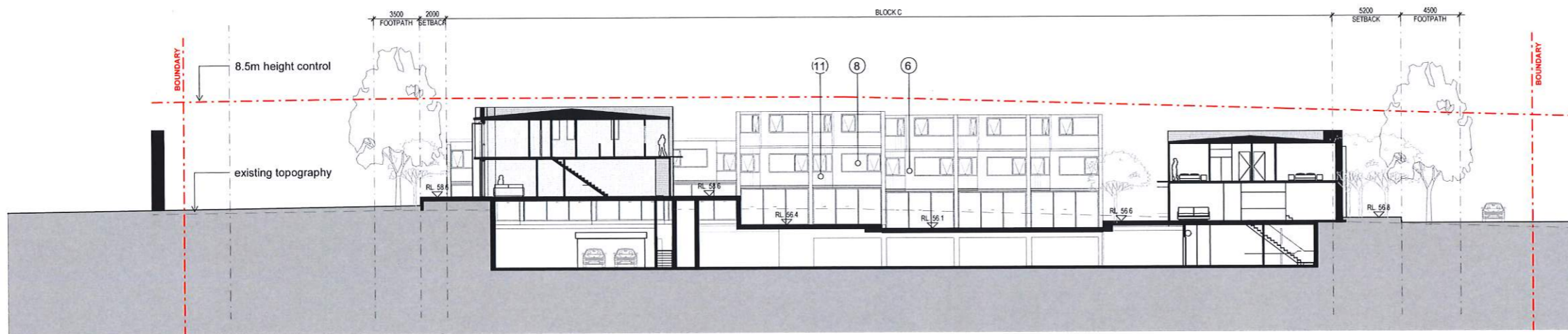
Buyers/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

MATERIAL LEGEND:

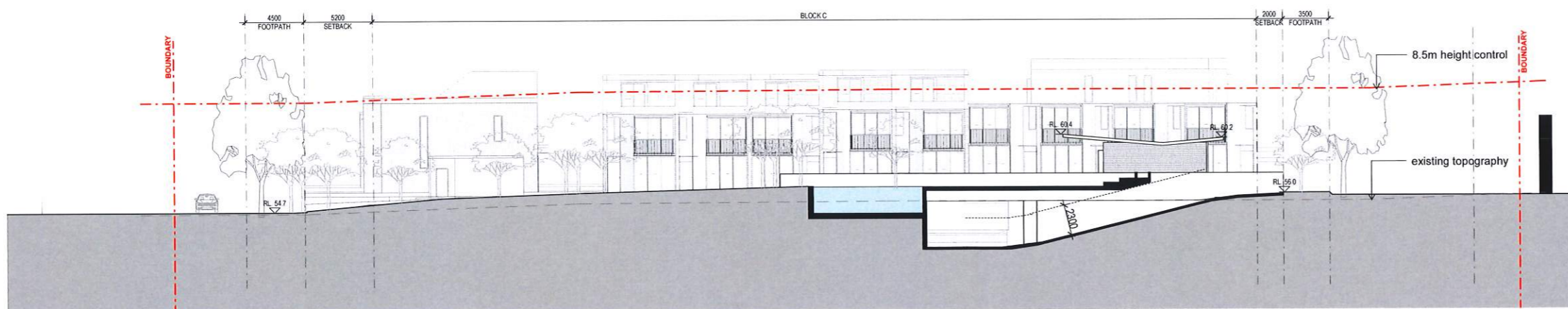




1 BLOCK C SECTION 3
DA2.10 1:200



2 BLOCK C SECTION 4
DA2.10 1:200

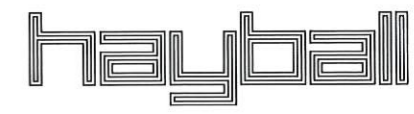


3 PARK SECTION
DA2.10 1:200

MATERIAL LEGEND:



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

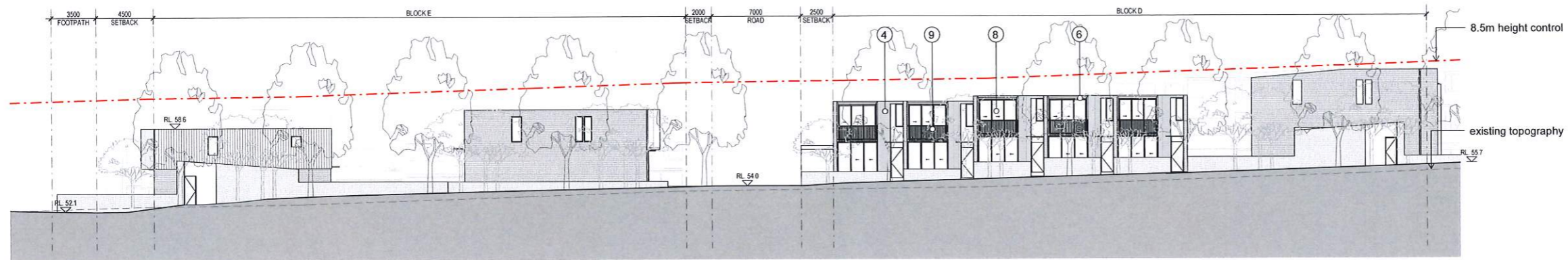
Drawing Title
BLOCK C & PARK SECTIONS

Status
PRELIMINARY ISSUE

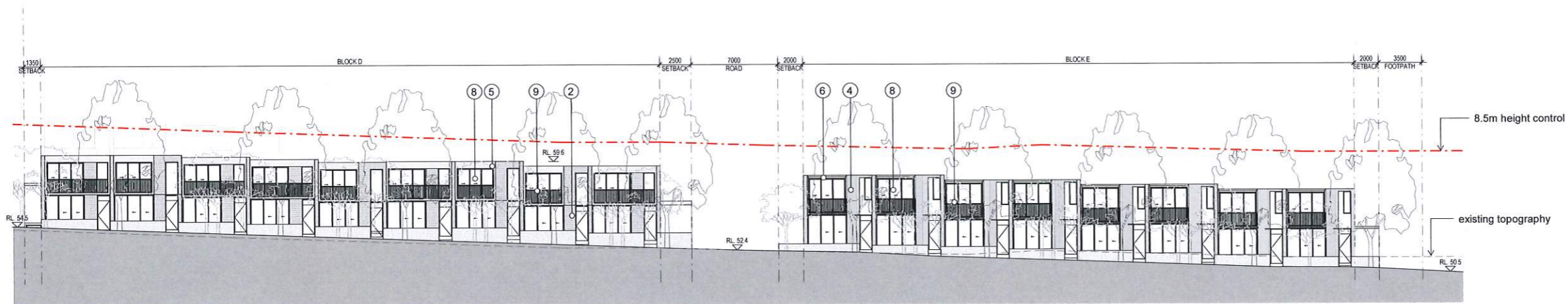
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.53 | F |

Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of stamped shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.



1 BLOCK D & E - SOUTH ELEVATION
DA2.12 1:200



2 BLOCK D & E - NORTH ELEVATION
DA2.12 1:200

MATERIAL LEGEND:



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
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ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

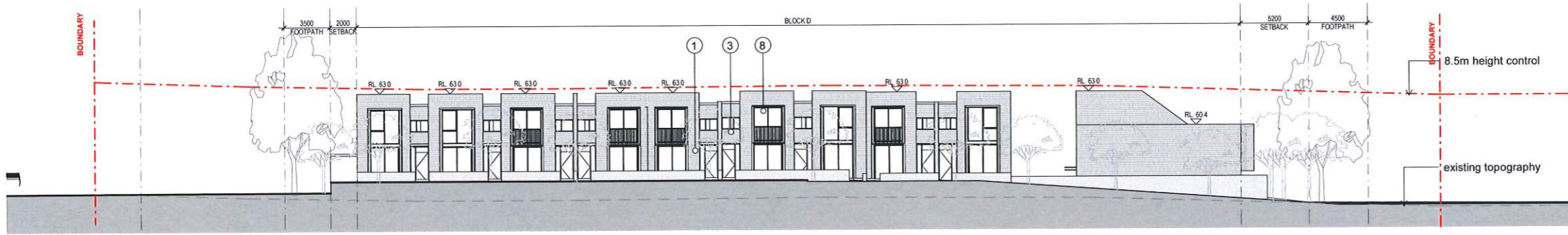
Drawing Title
BLOCK D & E ELEVATIONS

Status
PRELIMINARY ISSUE

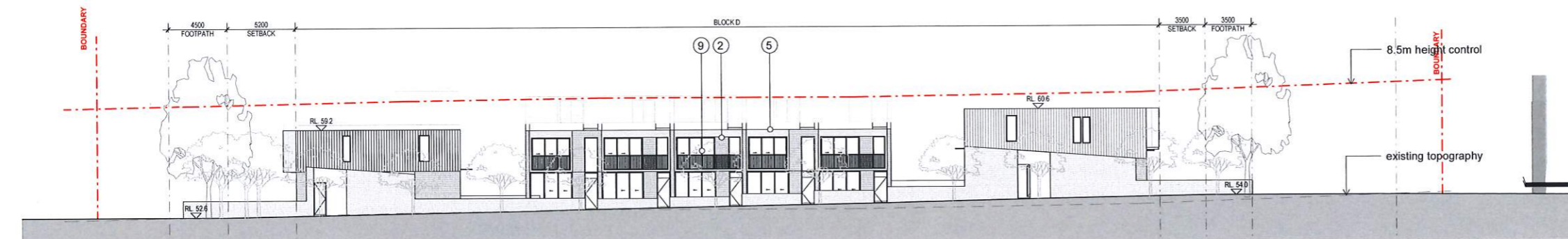
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.60 | F |

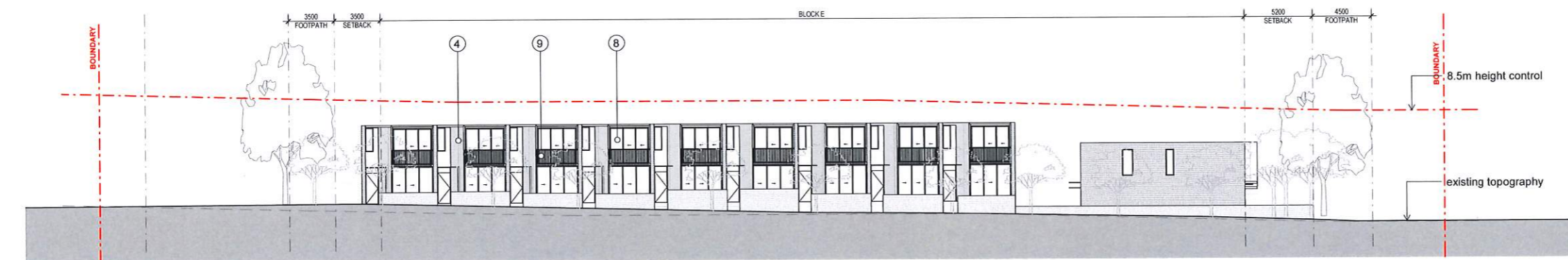
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



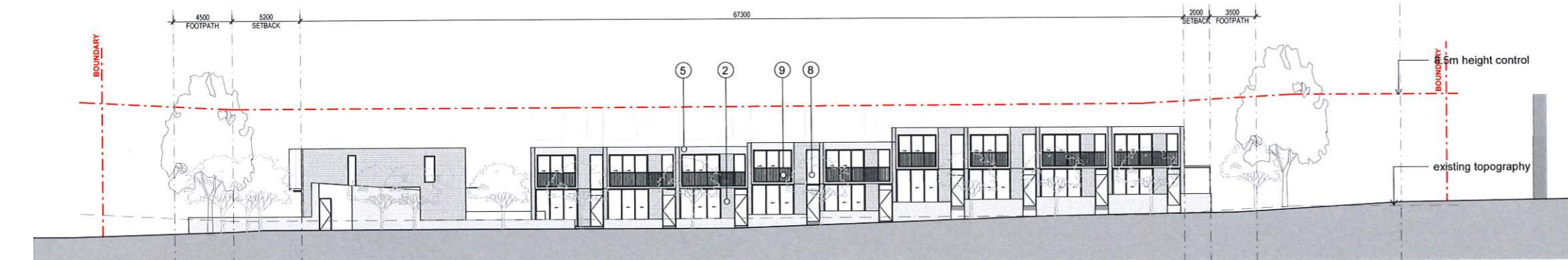
1 BLOCK D - EAST ELEVATION
DA2.22 1:200



2 BLOCK D - WEST ELEVATION
DA2.22 1:200



3 BLOCK E - EAST ELEVATION
DA2.22 1:200



4 BLOCK E - WEST ELEVATION
DA2.22 1:200



| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 17/07/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

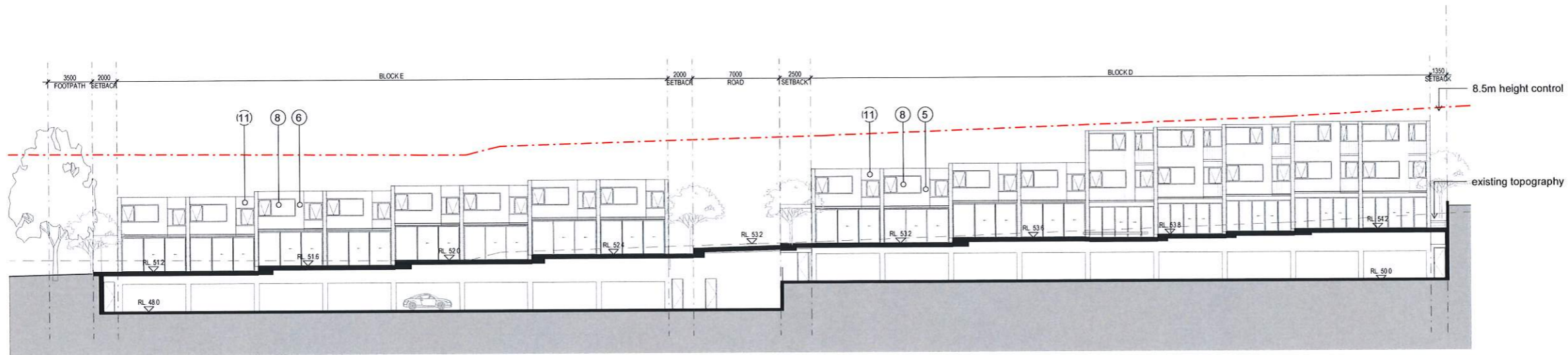
Drawing Title
BLOCK D & E ELEVATIONS

Status
PRELIMINARY ISSUE

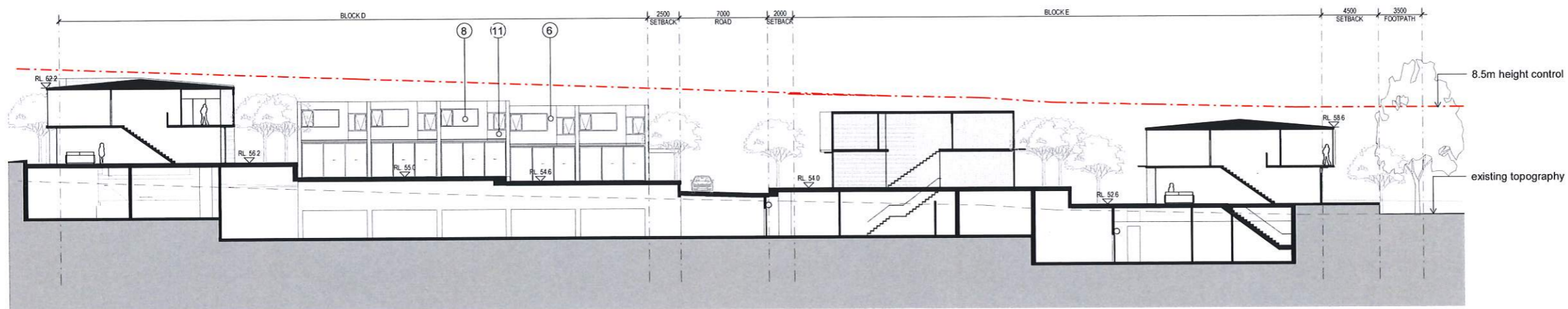
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| Author | Checker | 11/03/2020 10:02:17 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.61 | G |

Buyers/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.



1 BLOCK D & E SECTION 1
DA2.20 1:200



2 BLOCK D & E SECTION 2
DA2.20 1:200

MATERIAL LEGEND:



| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

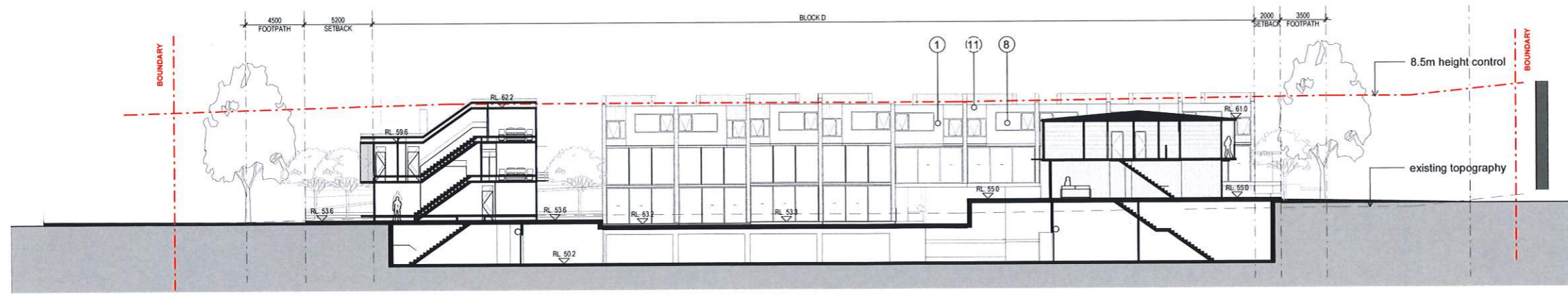
Drawing Title
BLOCK D & E SECTIONS

Status
PRELIMINARY ISSUE

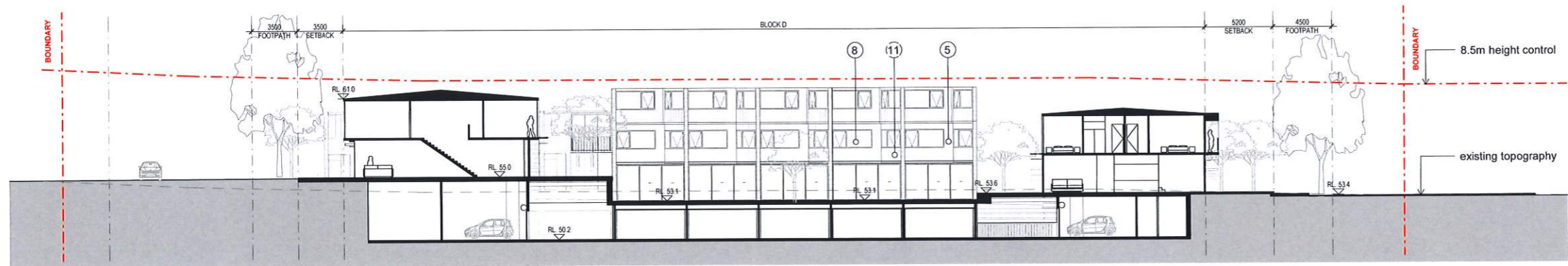
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| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.62 | F |

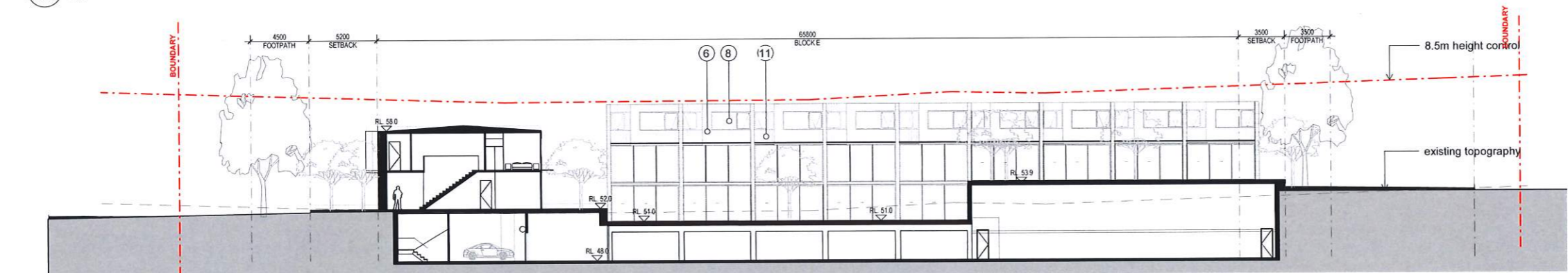
Builder/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



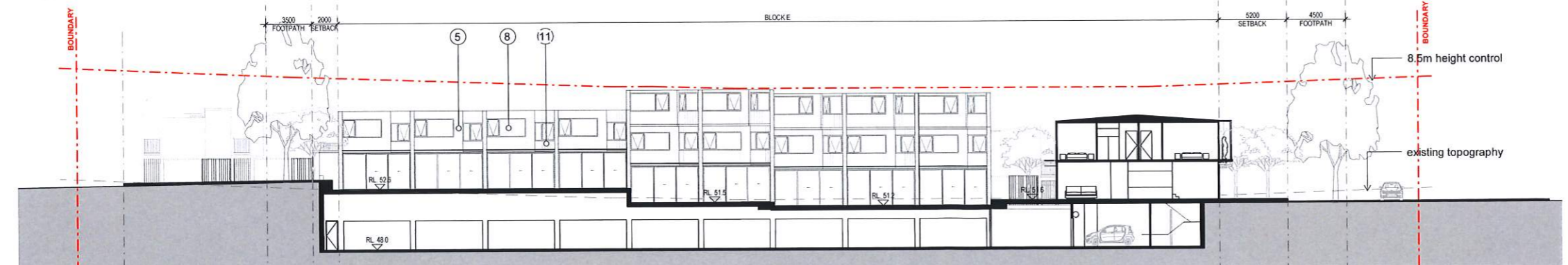
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DA2 20 1:200



2 BLOCK D SECTION 2
DA2 20 1:200



3 BLOCK E SECTION 1
DA2 20 1:200



4 BLOCK E SECTION 2
DA2 20 1:200

MATERIAL LEGEND:



- 1. RED BRICK
- 2. WHITE BRICK
- 3. GREY BRICK
- 4. TIMBER LOOK CLADDING 1
- 5. TIMBER LOOK CLADDING 2
- 6. NATURAL FINISH FIBRE CEMENT CLADDING
- 7. METAL CLADDING
- 8. CLEAR GLASS
- 9. DARK CHARCOAL POWDERCOATED STEEL BALUSTRADE
- 10. TIMBER LOOK SCREEN
- 11. WHITE PAINTED FIBRE CEMENT CLADDING

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 T +61 3 9599 3644 T +61 2 9550 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

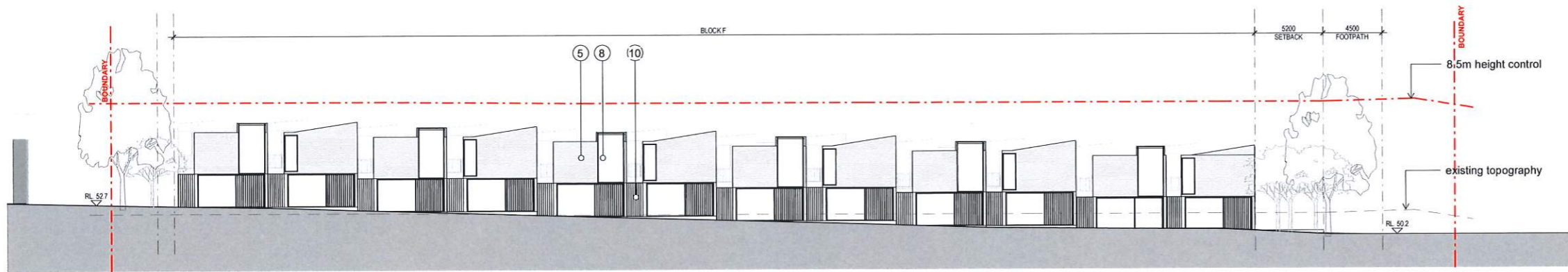
Drawing Title
BLOCK D & E SECTIONS

Status
PRELIMINARY ISSUE

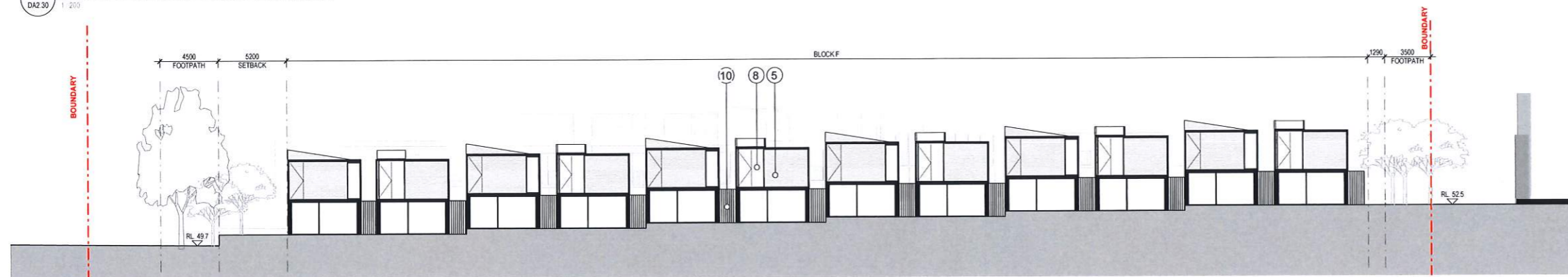
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| Author | Checker | 11/03/2020 10:03:02 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.63 | F |

Buyers/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



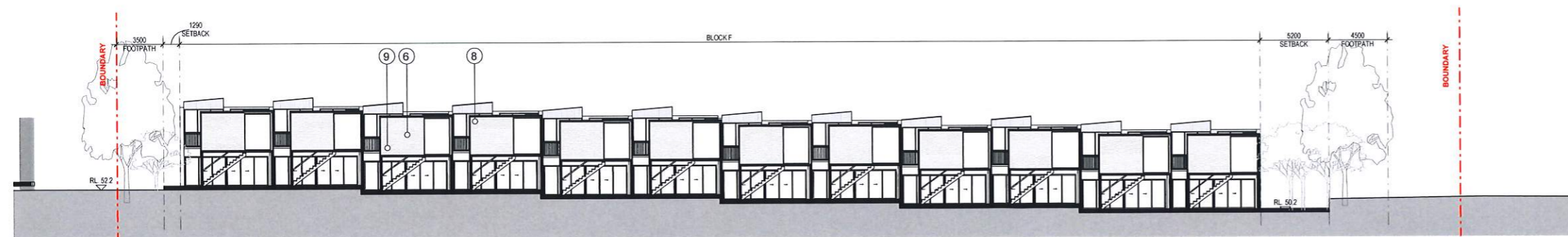
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3 BLOCK F STUDIO - WEST ELEVATION



2 BLOCK F - WEST ELEVATION

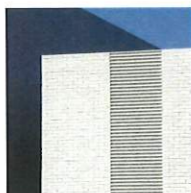


4 BLOCK F - EAST ELEVATION

MATERIAL LEGEND:



1. RED BRICK



2. WHITE BRICK



3. GREY BRICK



4. TIMBER LOOK CLADDING 1



5. TIMBER LOOK CLADDING 2



6. NATURAL FINISH FIBRE CEMENT CLADDING



7. METAL CLADDING



8. CLEAR GLASS



9. DARK CHARCOAL POWDERCOATED STEEL BALUSTRADE



10. TIMBER LOOK SCREEN



11. WHITE PAINTED FIBRE CEMENT CLADDING

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

Drawing Title
 BLOCK F ELEVATIONS

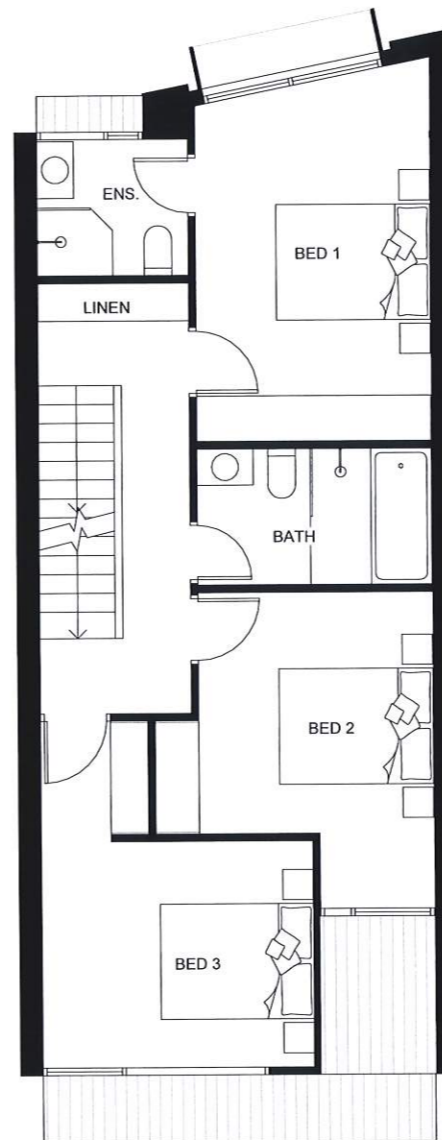
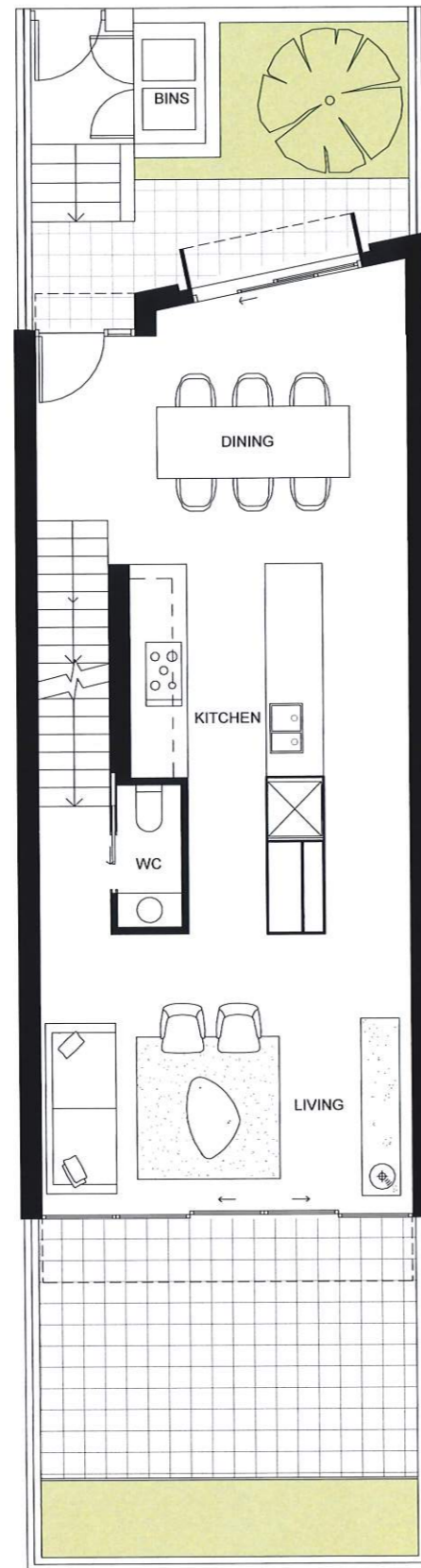
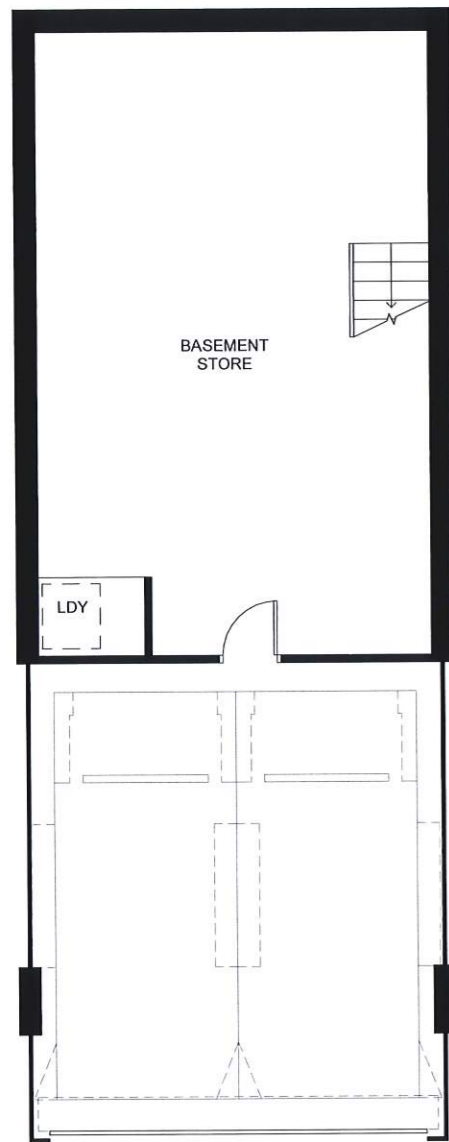
Status
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| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|-------|
| TB | JS | 11/03/2020 10:03:24 AM | 1:200 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA2.70 | F |

Builders/Contractors shall verify job dimensions before any job commences. If any dimensions shall be in accordance with scaled work. Work shall also conform to the manufacturer's specifications and dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A1 F1A (x 1) |
| Internal: 121 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne Sydney Brisbane
 4/135 Level 12
 Sturt Street Southbank, 11-17 Buckingham Street, 324 Queen Street,
 VIC 3006 Surry Hills NSW 2010 Brisbane Qld 4000
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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tondoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take
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CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

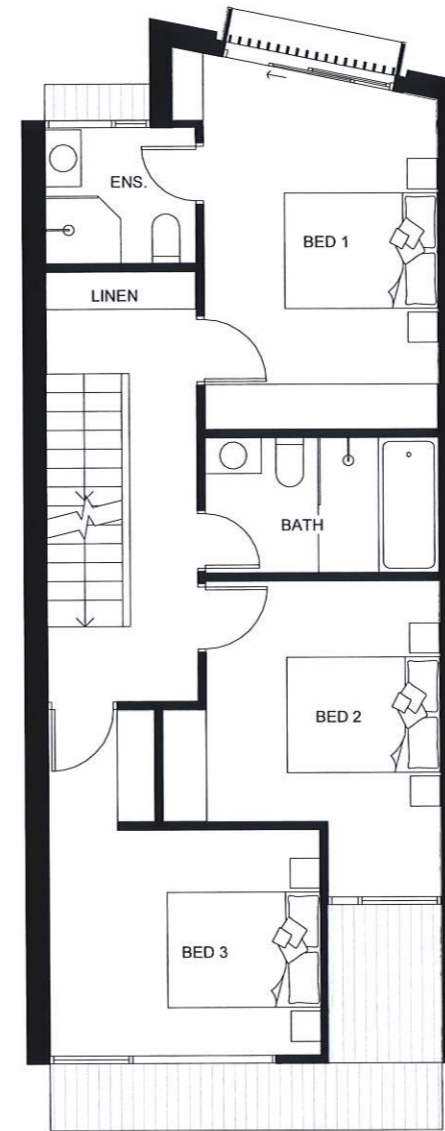
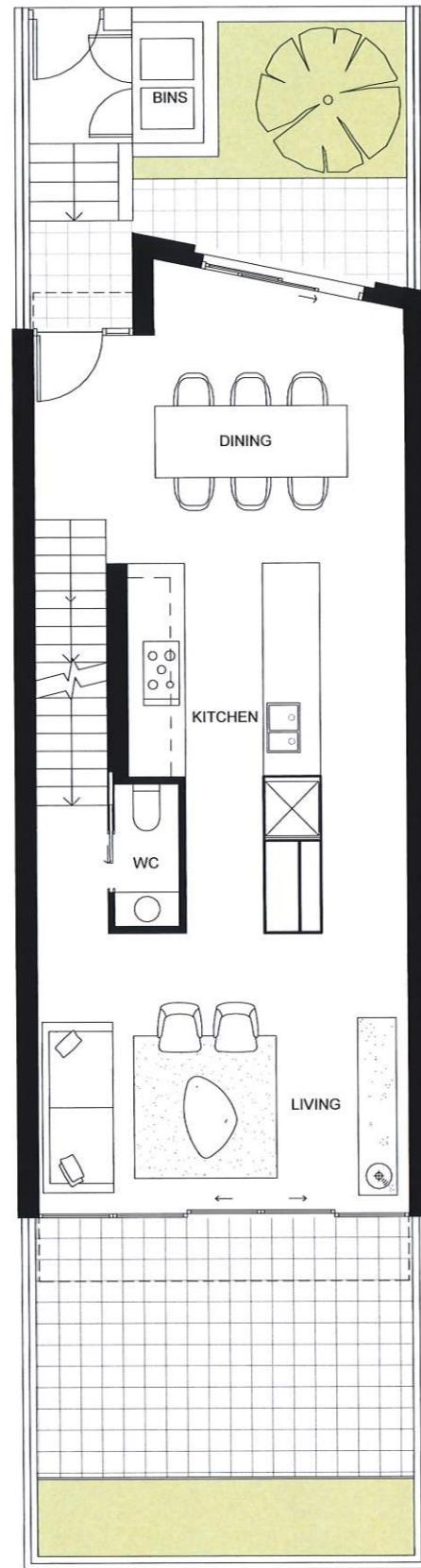
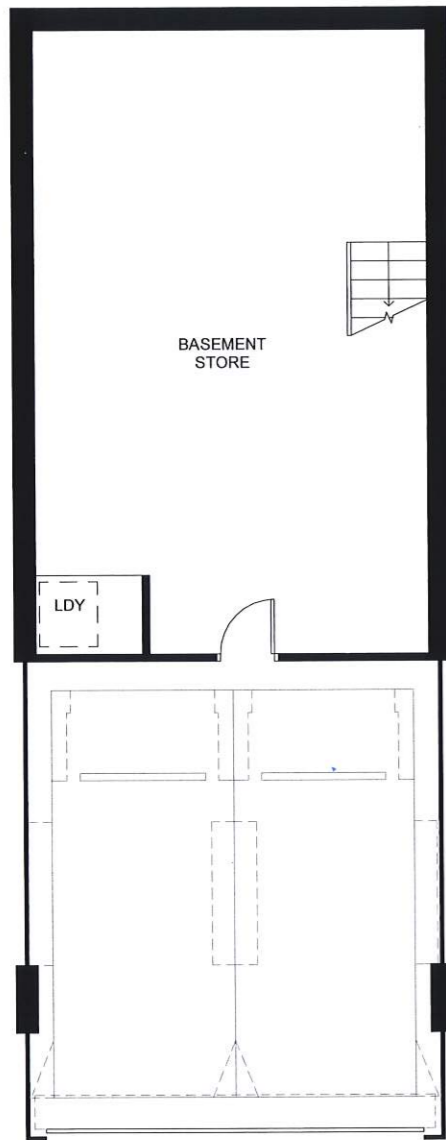
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TYPE A1 (FACADE 01A)

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 CHECKED JS
 DATE PRINTED 11/03/2020 10:03:37 AM
 SCALE 1:50

DRAWING NUMBER
DA3.10

REVISION
H

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A1 F1B (x 4) |
| Internal: 121 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |



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 ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tondoff 8028
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CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

DRAWING TITLE
TYPE A1 (FACADE 01B)

DRAWN BY WX
 CHECKED JS
 DATE PRINTED 11/03/2020 10:03:42 AM
 SCALE 1 : 50

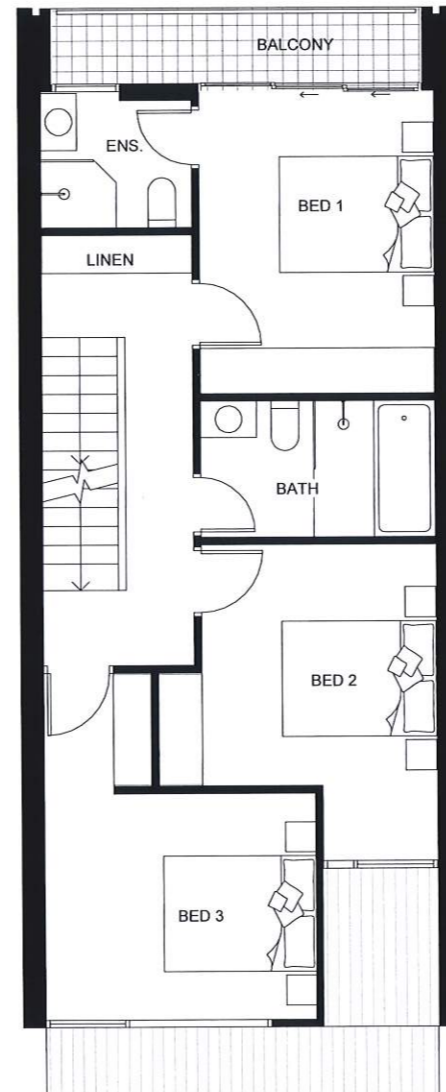
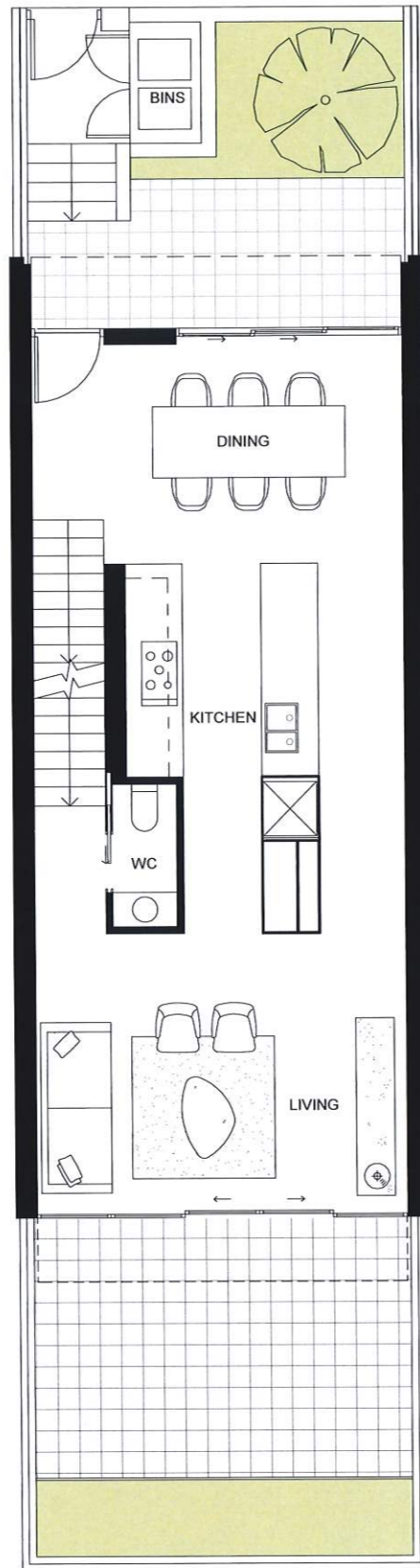
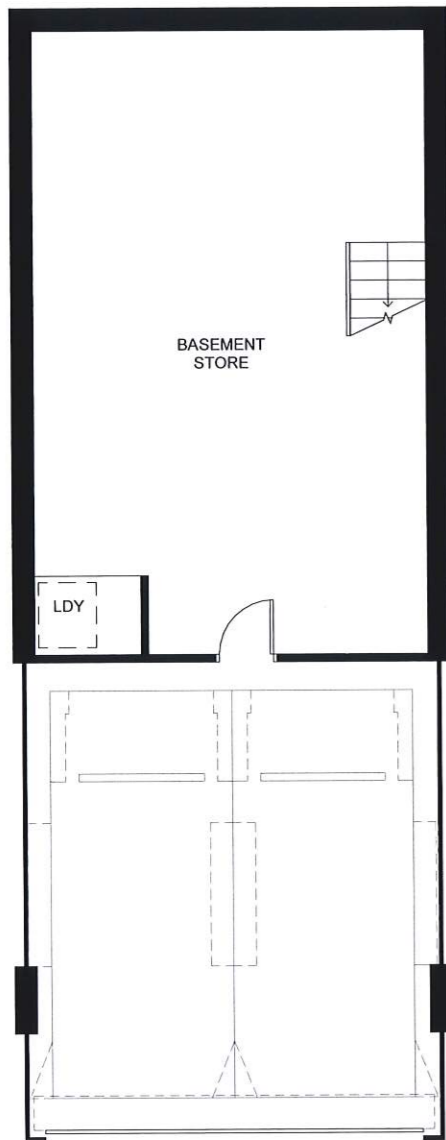
DRAWING NUMBER
DA3.11

REVISION
D

STATUS
DEVELOPMENT APPLICATION

| Rev | Description | Date |
|-----|-------------|------------|
| D | FOR DA | 10/03/2020 |
| C | FOR DA | 17/07/2019 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A1 F2A (x 2) |
| Internal: 121 m ² |
| Balcony: 8 m ² |
| Laundry: 15 m ² Nom (Varies) |

KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9599 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. If found dimensions shall take precedence over issued work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of requested shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

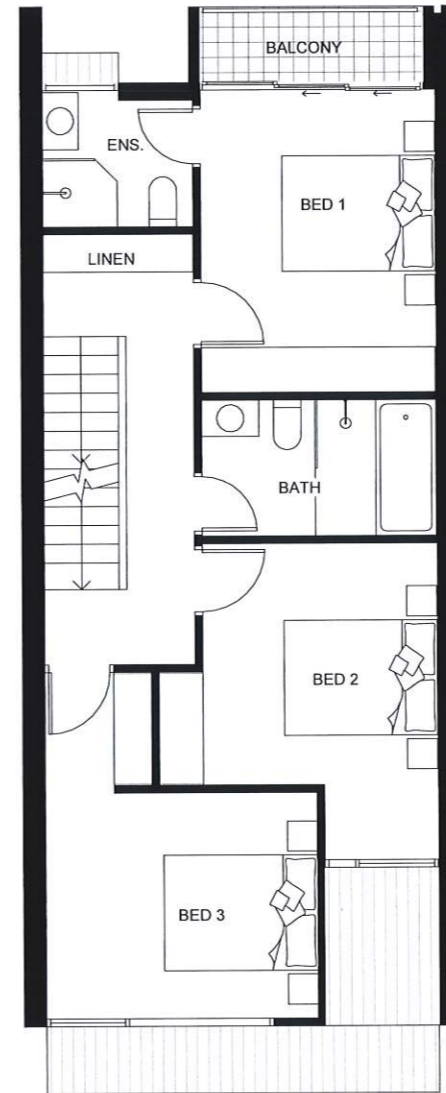
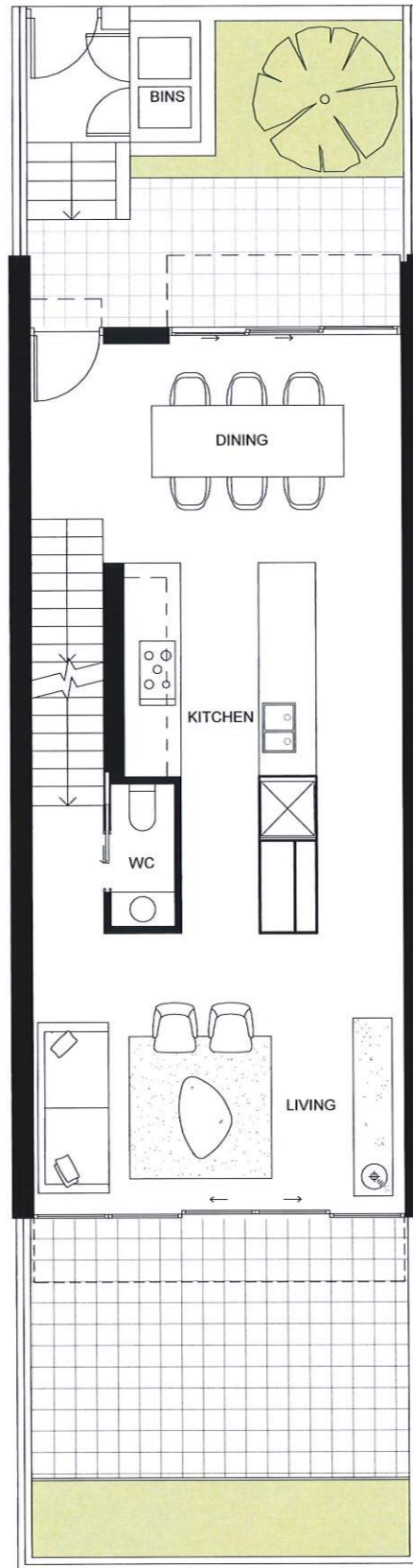
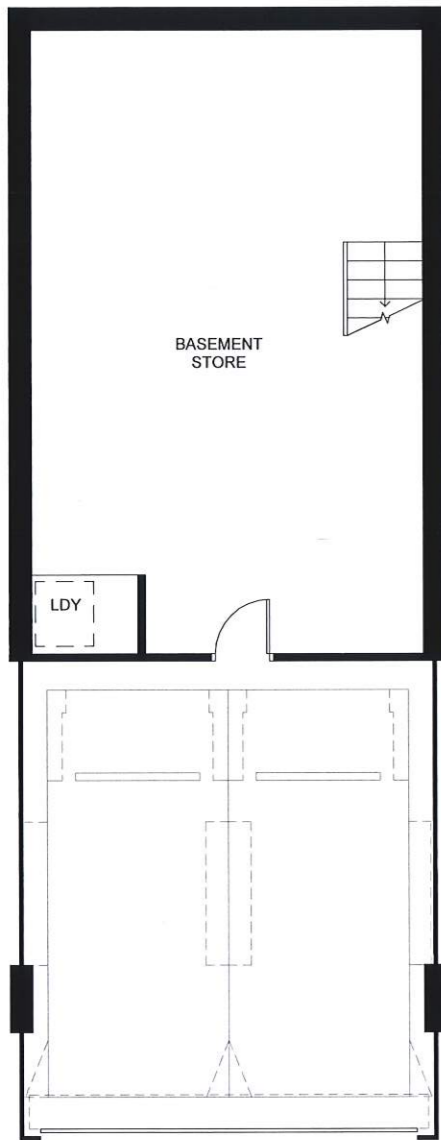
CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

DRAWING TITLE
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 DRAWN BY TB
 CHECKED JS
 DATE PRINTED 11/03/2020 10:03:47 AM
 SCALE 1 : 50
 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.12

REVISION
E

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A1 F2B (x 2) |
| Internal: 121 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3544 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 8406384261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028
Builders/Contractors shall verify job dimensions before any job commences. If figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and no work shall commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.

CLIENT
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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

DRAWING TITLE
TYPE A1 (FACADE 02B)

DRAWN BY WX
 CHECKED JS
 DATE PRINTED 11/03/2020 10:03:52 AM
 SCALE 1 : 50

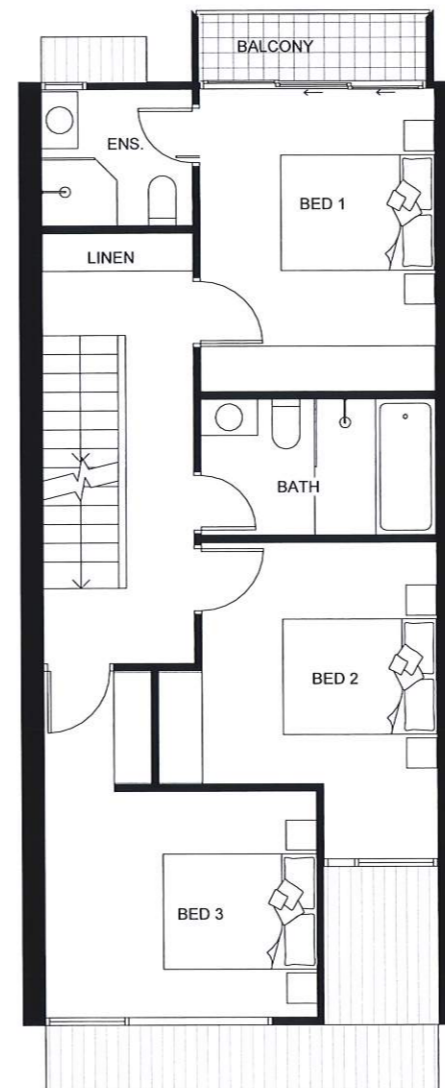
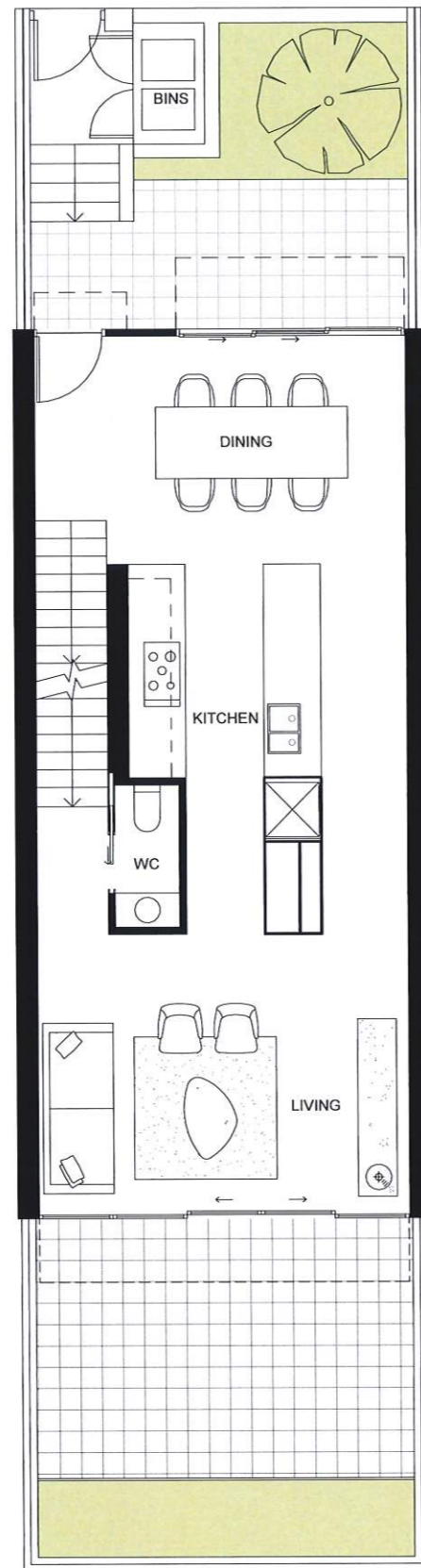
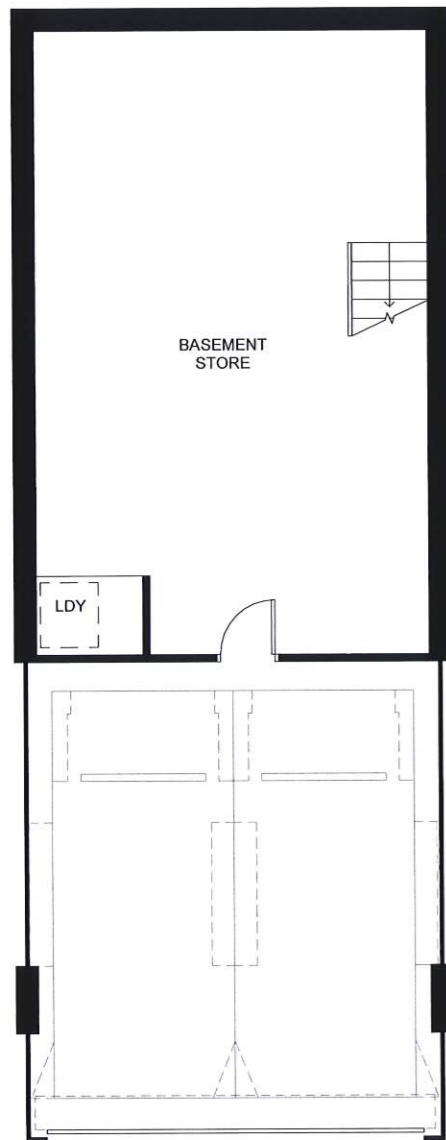
DRAWING NUMBER
DA3.13

REVISION
C

STATUS
DEVELOPMENT APPLICATION

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/05/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A1 F3 (x 12) |
| Internal: 121 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9669 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

CLIENT
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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

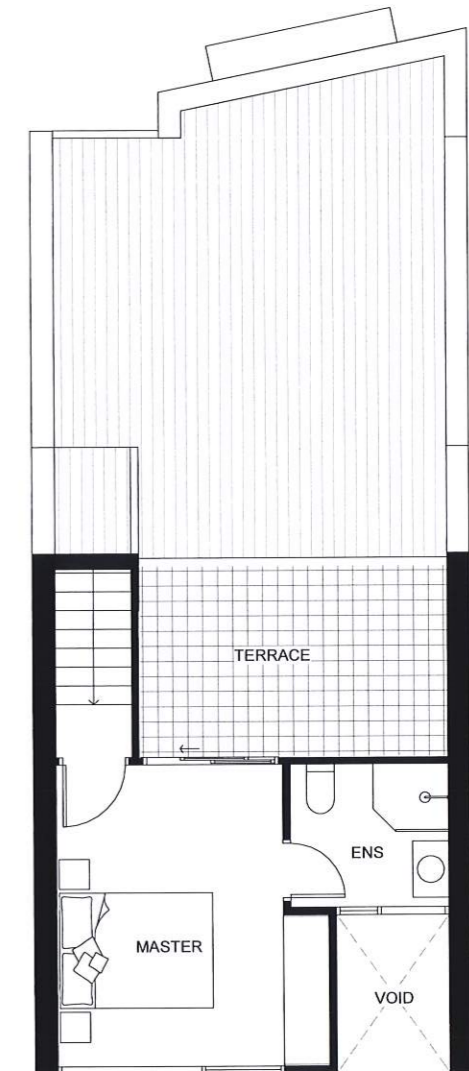
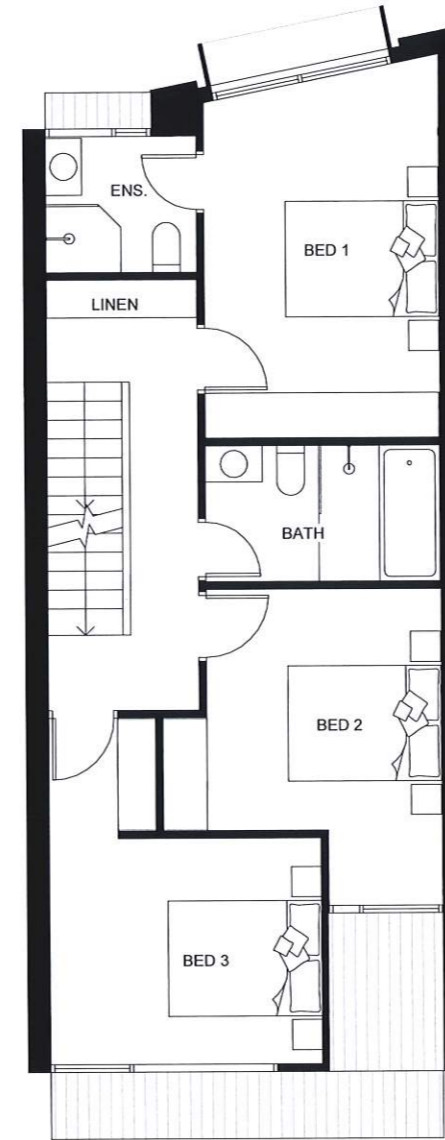
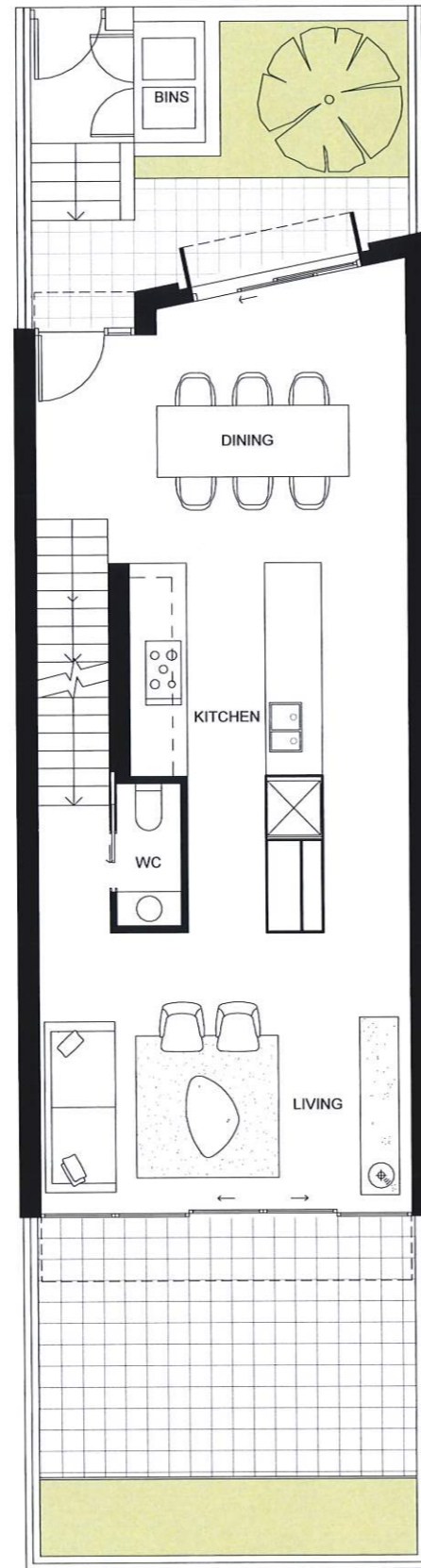
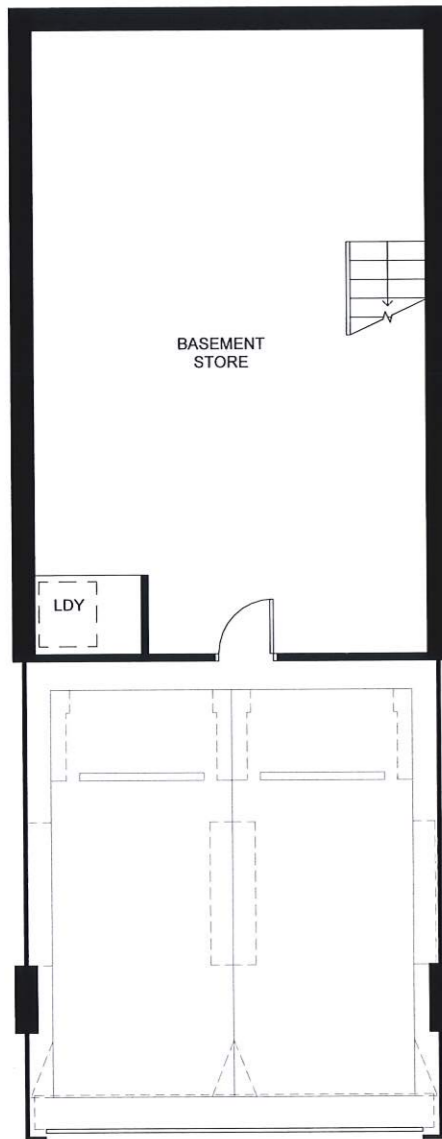
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 DRAWN BY TB
 CHECKED JS
 DATE PRINTED 11/03/2020 10:03:57 AM
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 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.14

REVISION
E

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A2 F1A (x 3) |
| Internal: 143 m ² |
| Balcony: 11 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000
 T +61 3 9659 3644 T +61 2 9650 9329 T +61 7 3211 9821
 ABN: 6406394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Torstoff 8028
Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

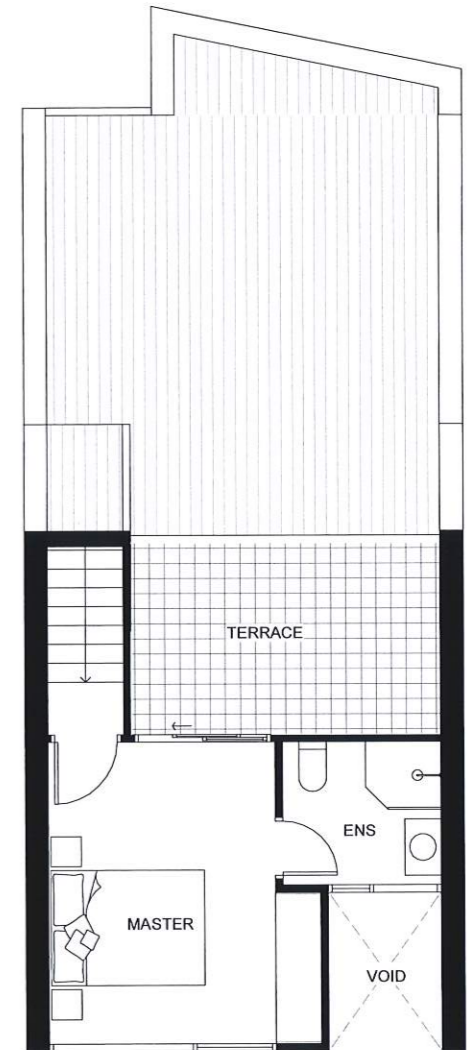
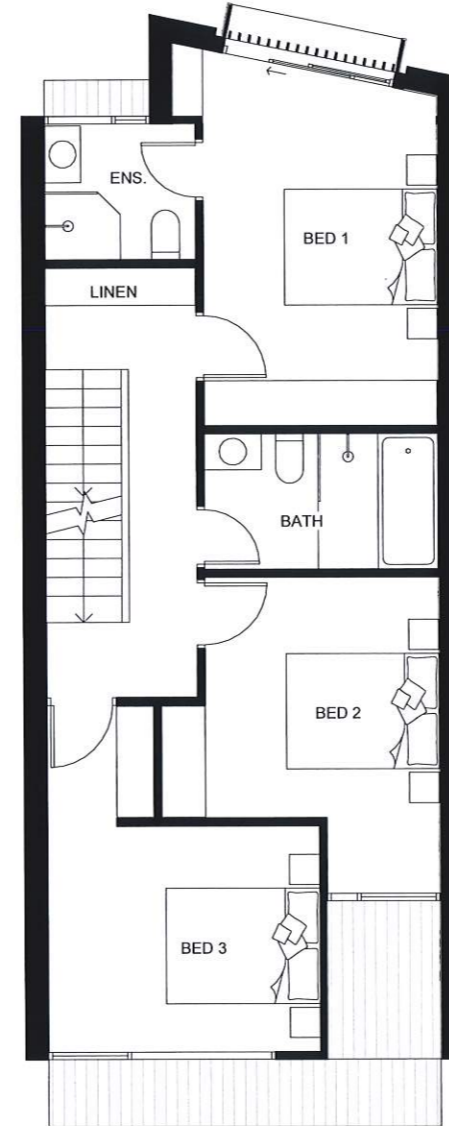
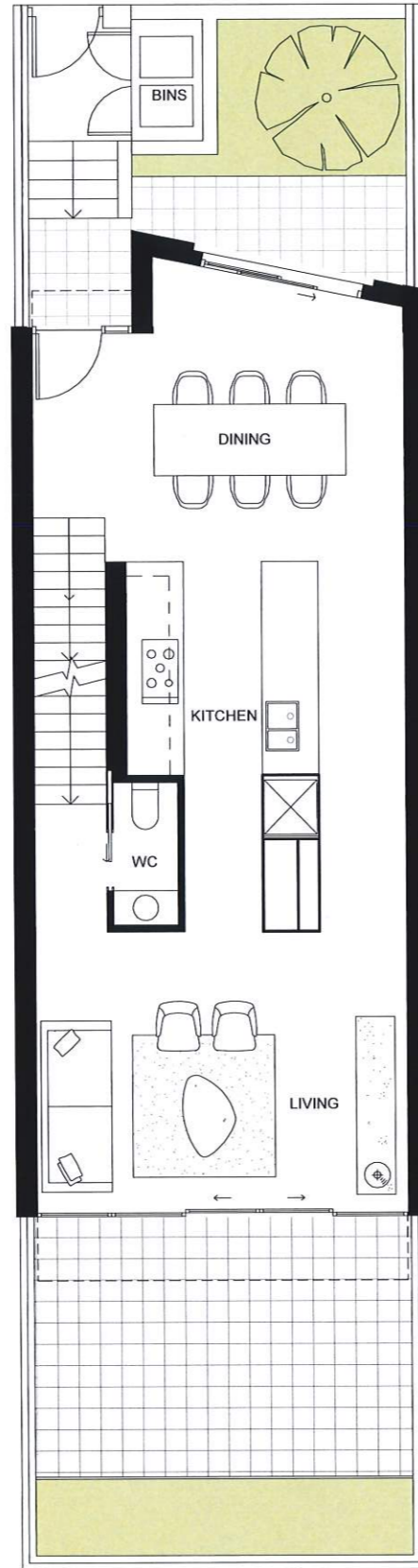
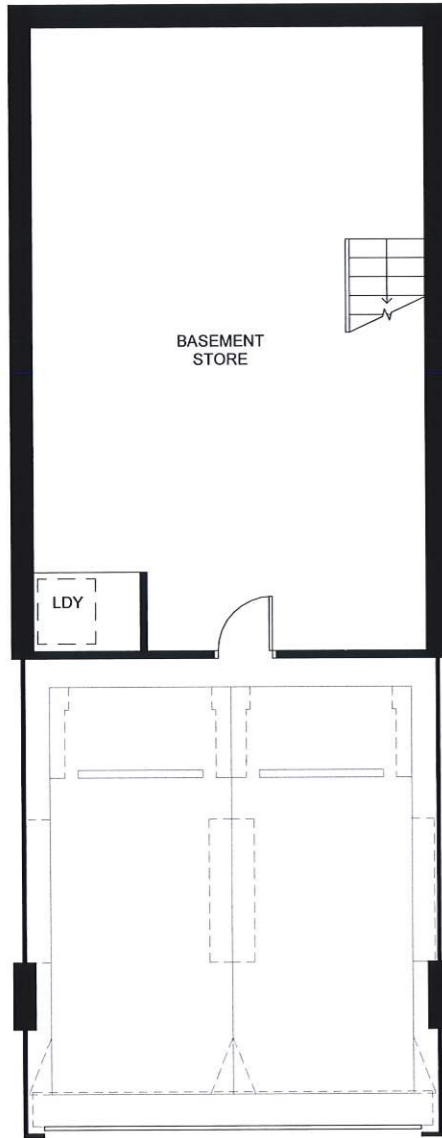
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 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.15

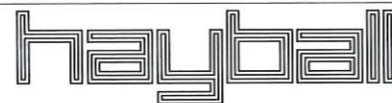
REVISION
D

| Rev | Description | Date |
|-----|-------------|------------|
| D | FOR DA | 10/03/2020 |
| C | FOR DA | 17/07/2019 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A2 F1B (x 1) |
| Internal: 143 m ² |
| Balcony: 11 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9650 9329 T +61 7 3211 9921
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tonstoft 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.

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51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE A2 (FACADE 01B)

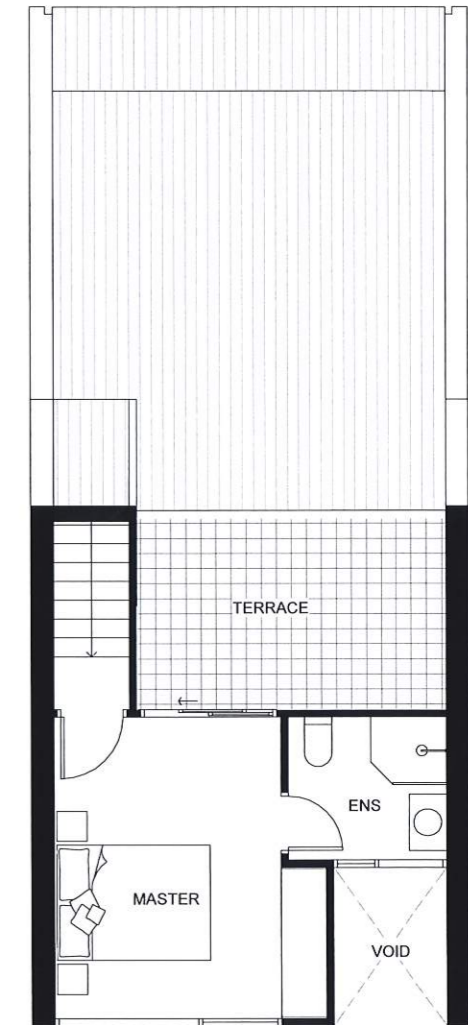
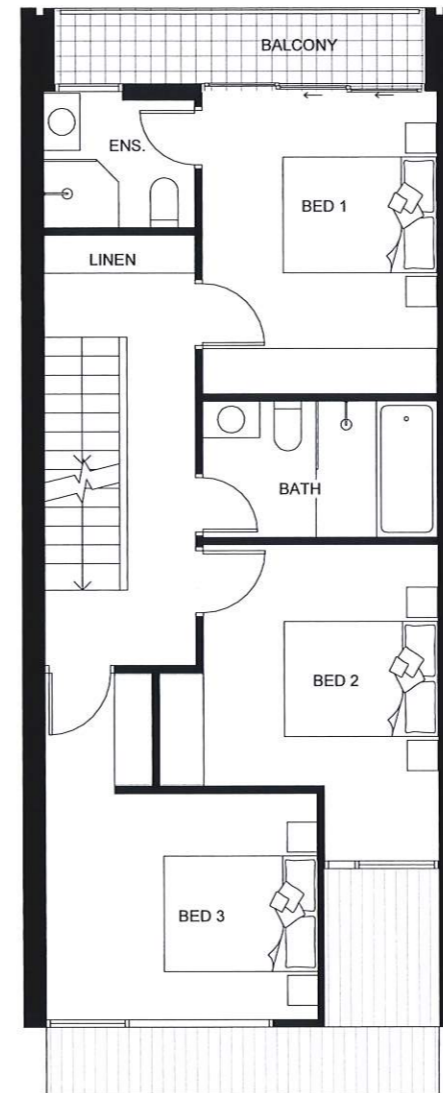
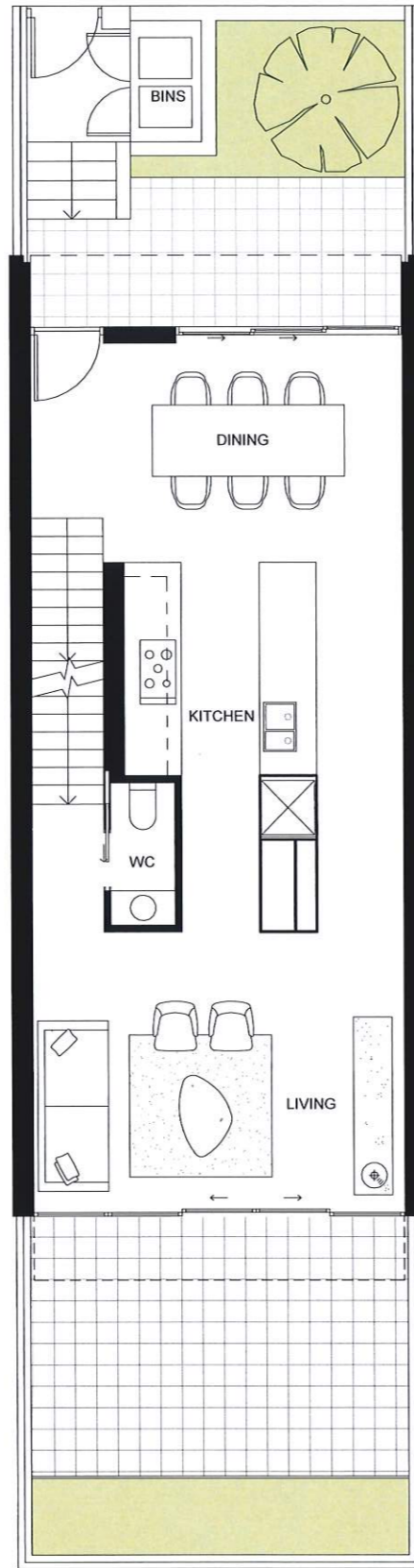
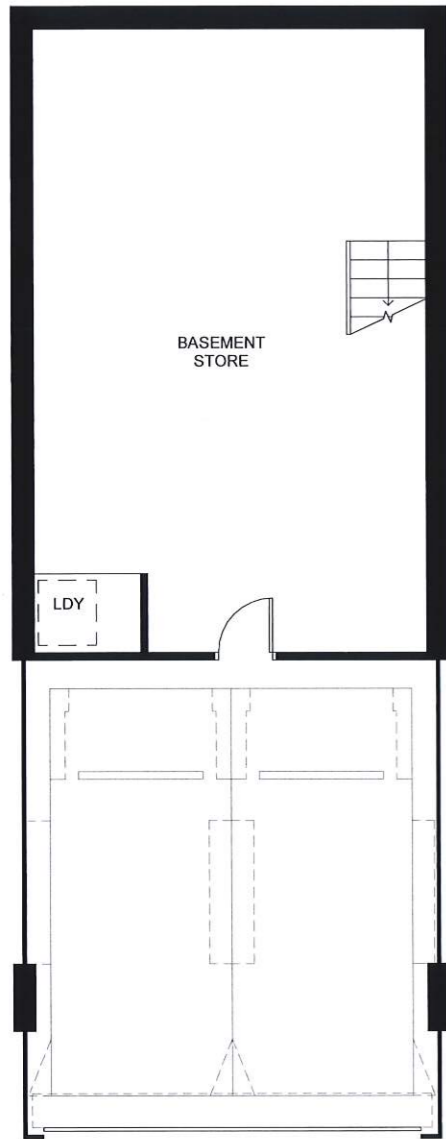
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 SCALE 1 : 50

DRAWING NUMBER
DA3.16

REVISION
D

| Rev | Description | Date |
|-----|-------------|------------|
| D | FOR DA | 10/03/2020 |
| C | FOR DA | 17/07/2019 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A2 F2A (x 7) |
| Internal: 139 m ² |
| Balcony: 16 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne Sydney Brisbane
 4/135 Ground Floor Level 12,
 Sturt Street Southbank, 11-17 Buckingham Street, 324 Queen Street,
 VIC 3006 Surry Hills NSW 2010 Brisbane Qld 4000
 T +61 3 9899 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tordoff 8028
Builder/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over stated work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE A2 (FACADE 02A)

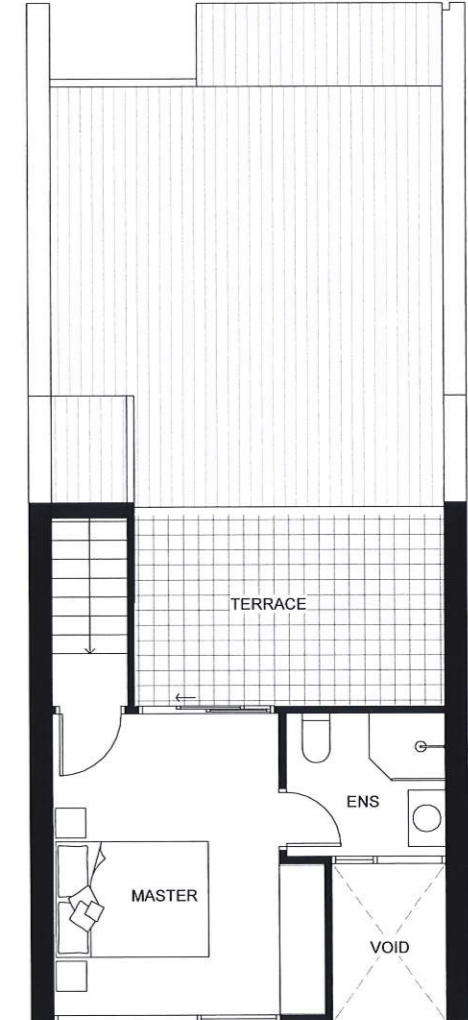
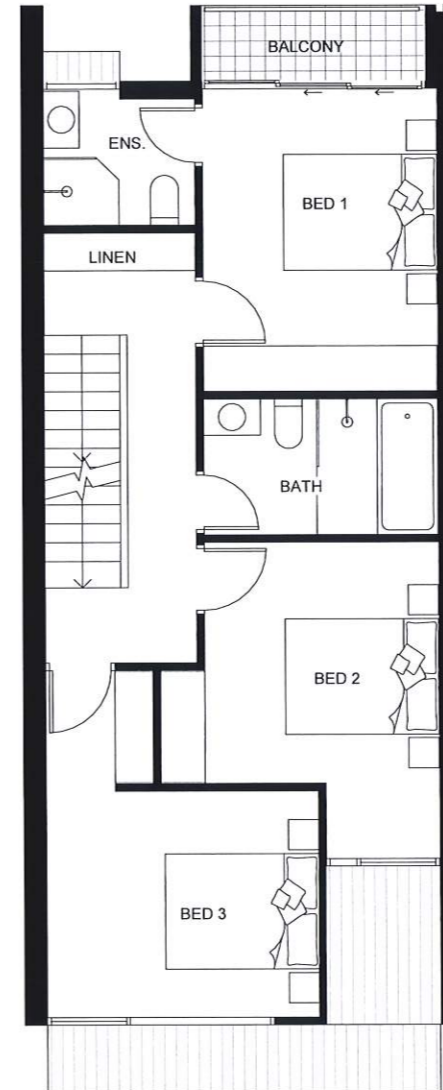
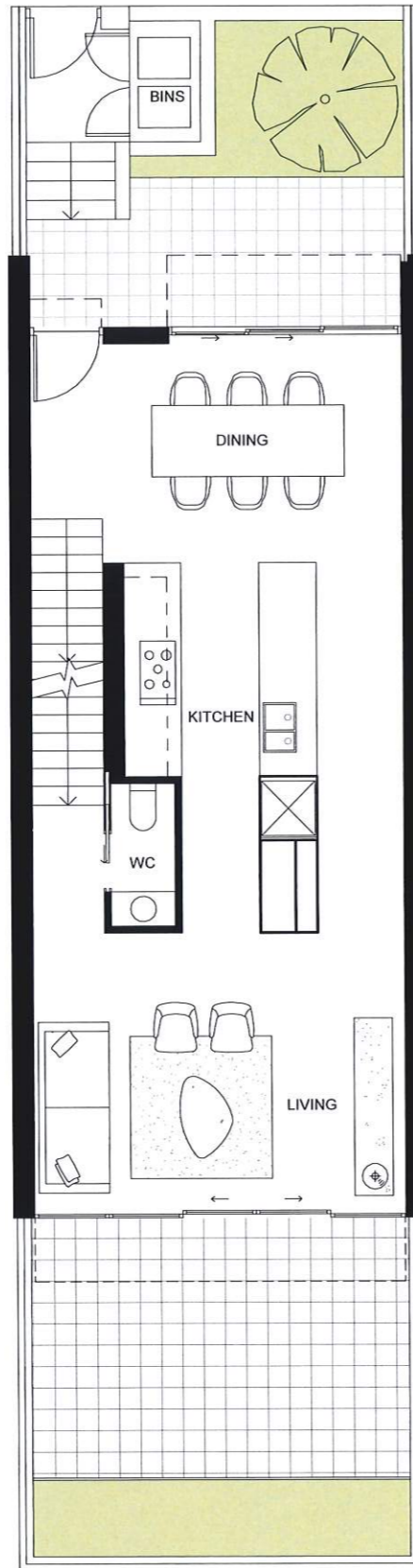
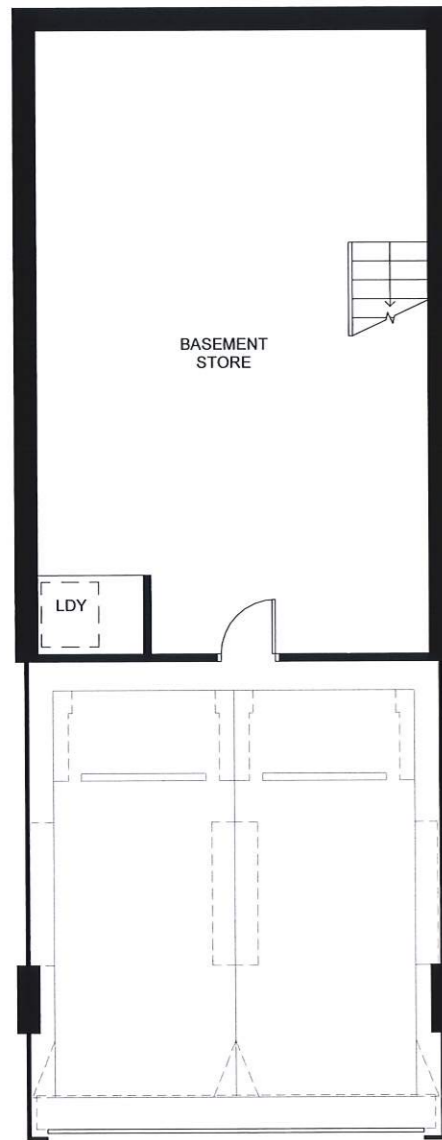
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 SCALE 1 : 50

DRAWING NUMBER
DA3.17

REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE A2 F2B (x 4) |
| Internal: 139 m ² |
| Balcony: 16 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

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51 Terry Rd
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 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

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TYPE A2 (FACADE 02B)

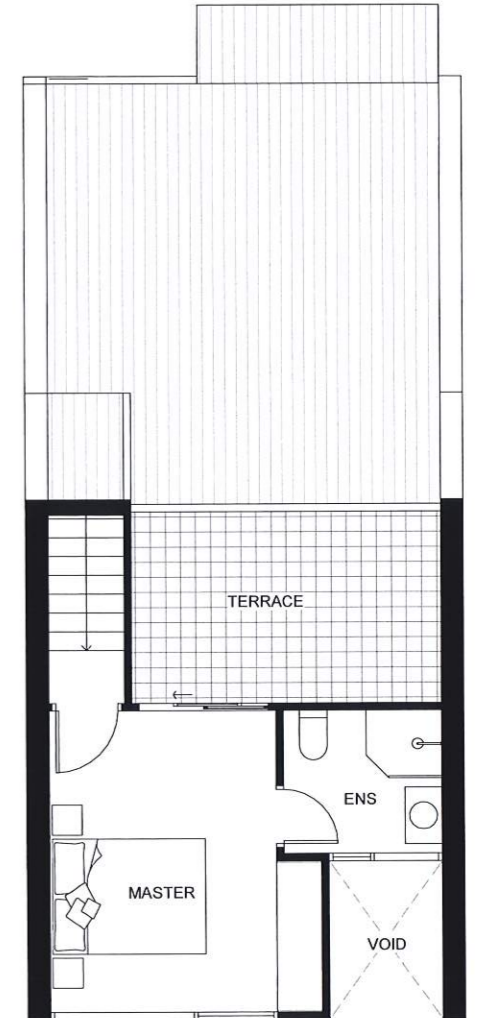
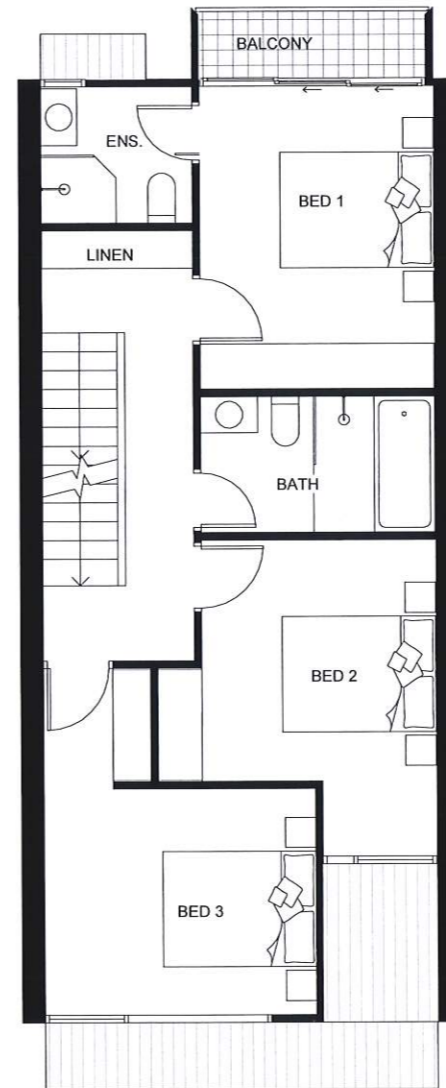
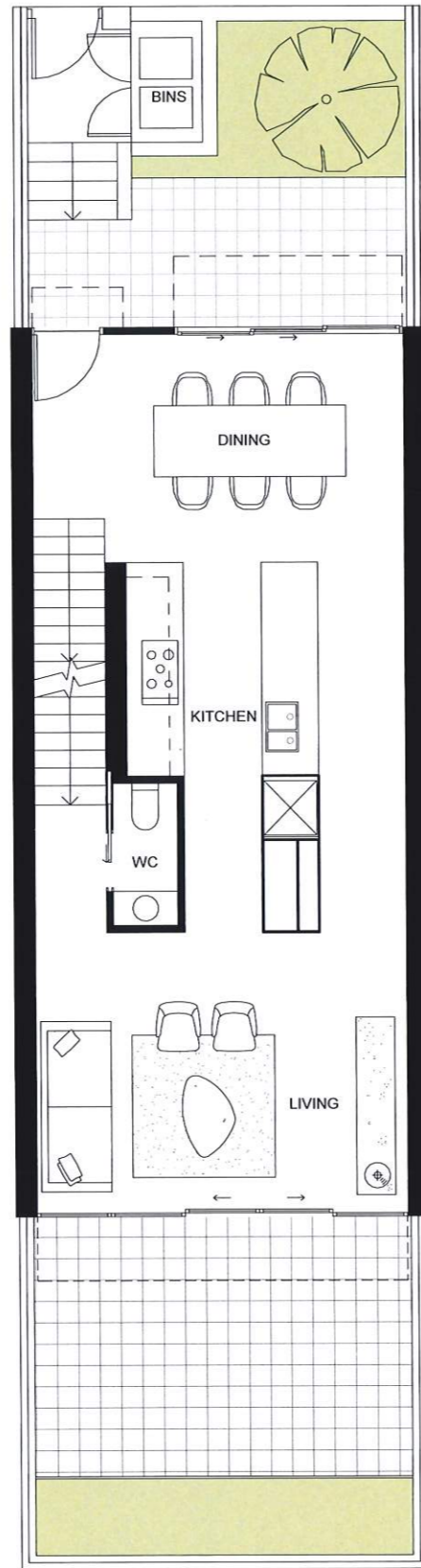
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DRAWING NUMBER
DA3.18

REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR
CONFIGURATION VARIES



| |
|---|
| TYPE A2 F3 (x 4) |
| Internal: 139 m ² |
| Balcony: 16 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne Sydney Brisbane
47/35 Sturt Street Southbank, VIC 3006 41/35 Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010 324 Queen Street, Brisbane Qld 4000
T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9621
ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Torloff 8028
Builder/Contractors shall verify all dimensions before any job commences. If fixed dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

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PROJECT NAME
51 Terry Rd
PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE A2 (FACADE 03)

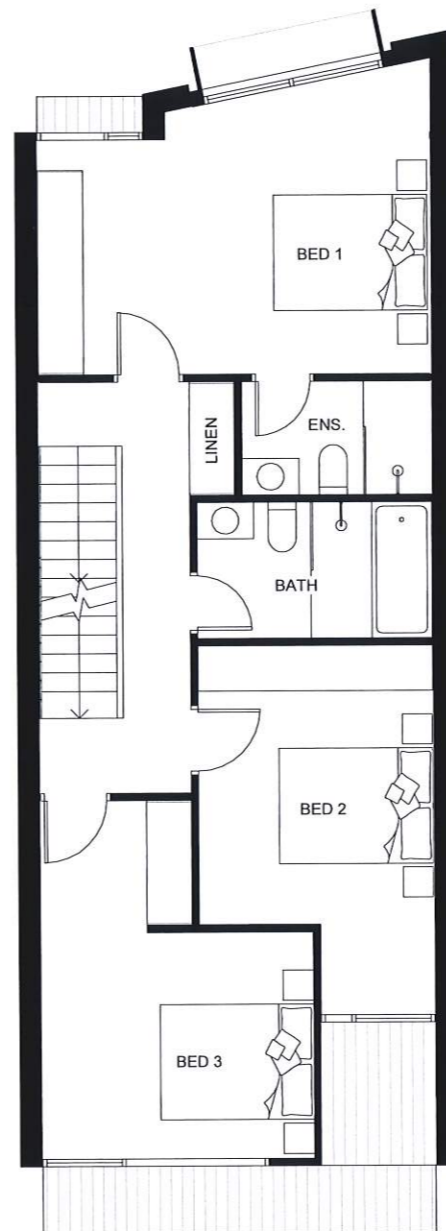
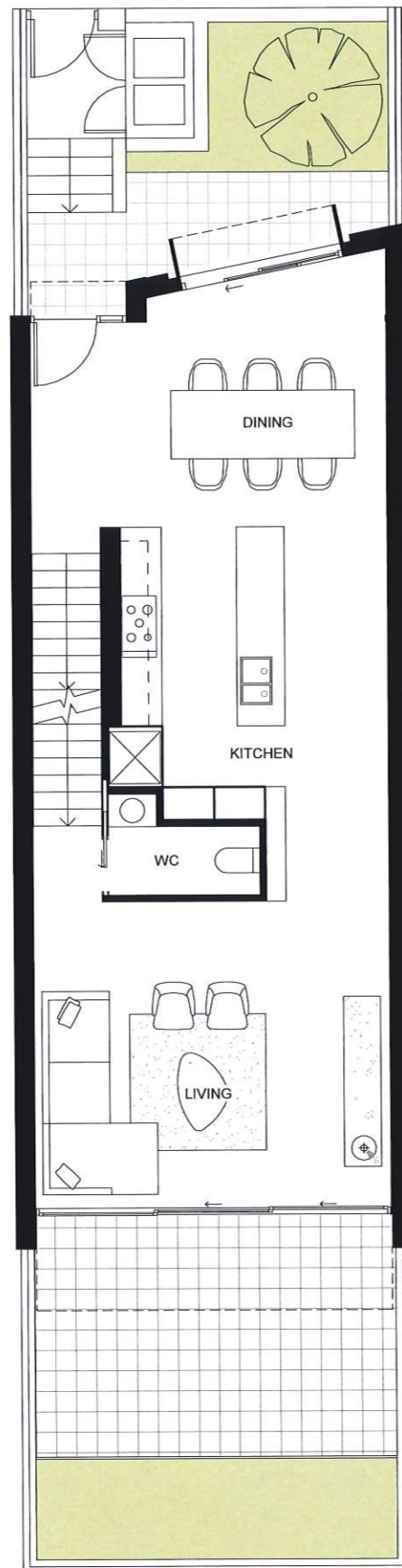
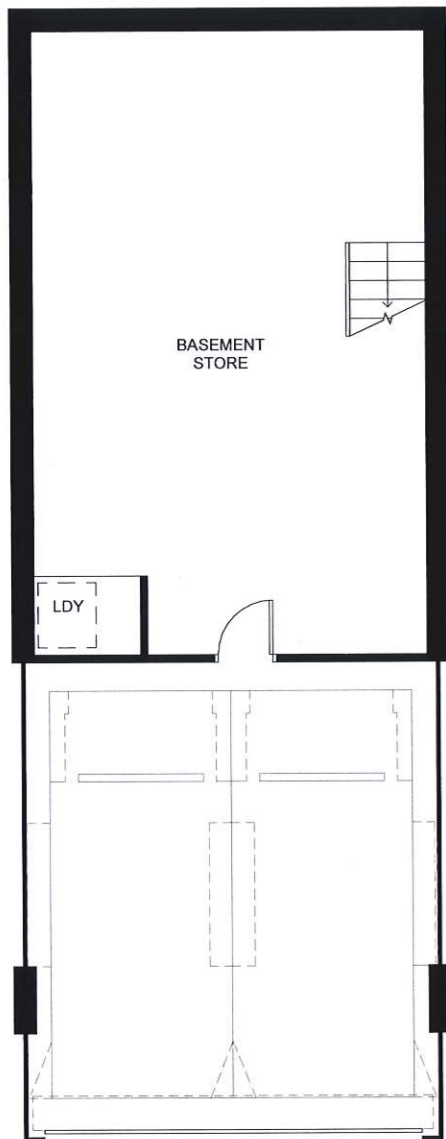
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DATE PRINTED 11/03/2020 10:04:26 AM
SCALE 1 : 50

DRAWING NUMBER
DA3.19

REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B1 F1A (x 2) |
| Internal: 136 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



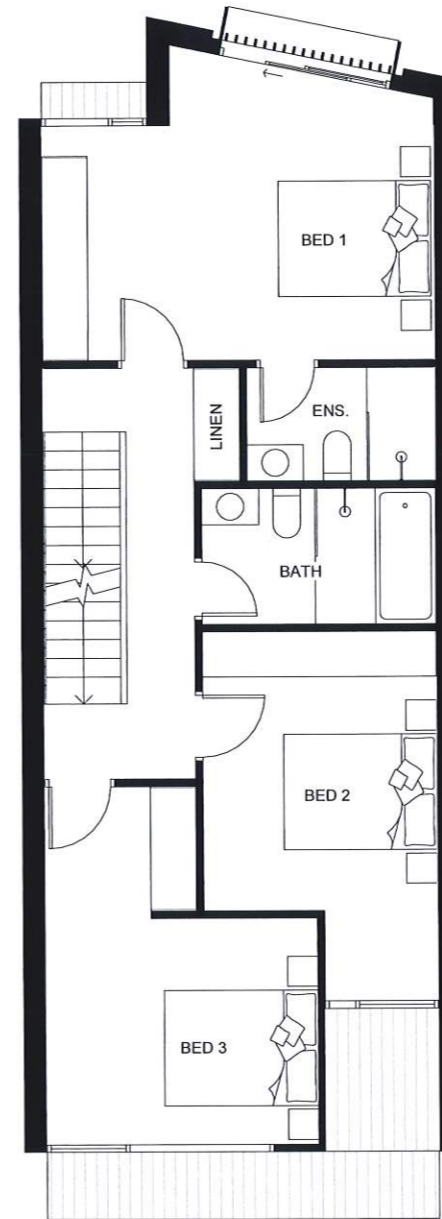
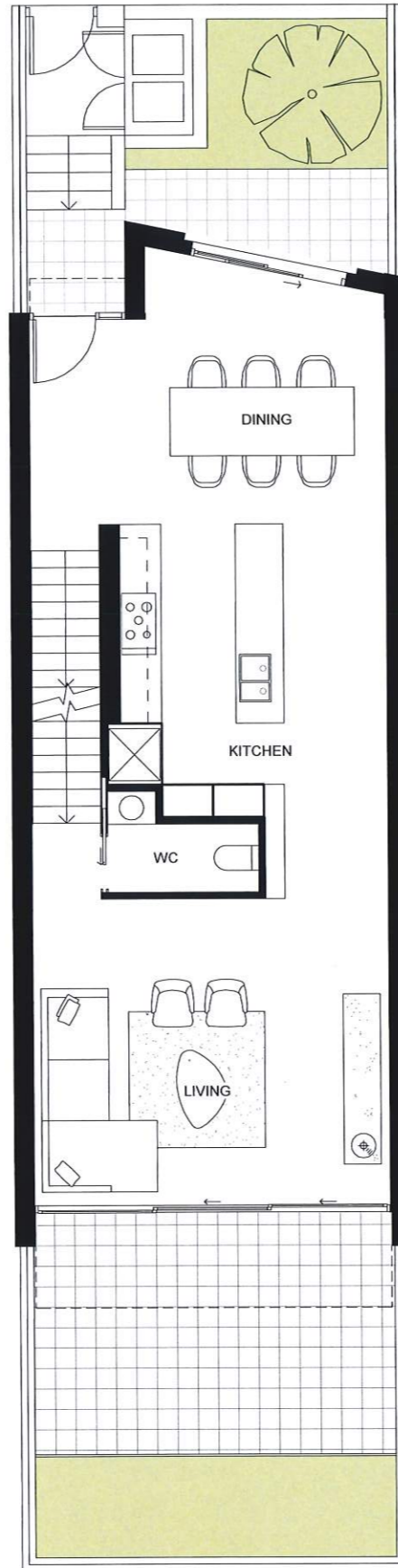
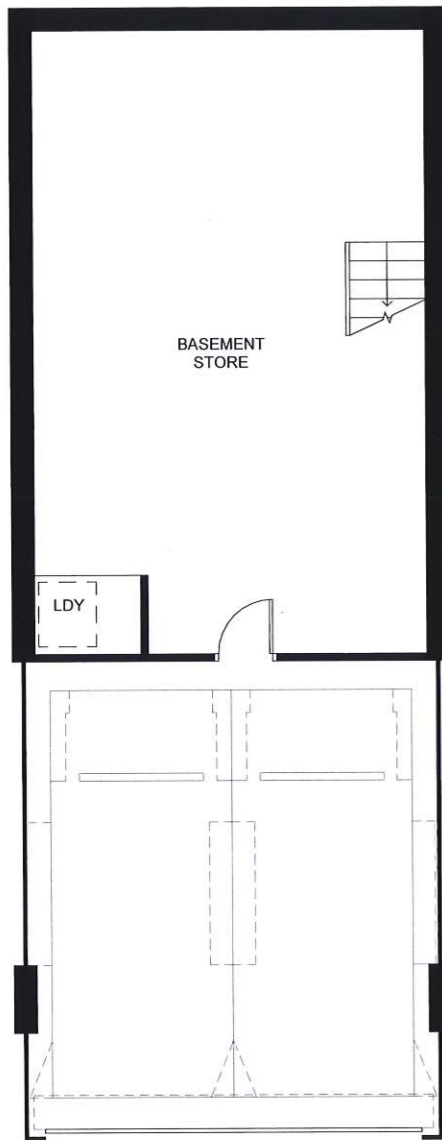
Melbourne Sydney Brisbane
 4/135 Ground Floor Level 12,
 Sturt Street Southbank, 11-17 Buckingham Street 324 Queen Street,
 VIC 3006 Surry Hills NSW 2010 Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tondoff 8028
 Business Contractors shall verify job dimensions before any job commences. Figured dimensions shall take
 precedence over scaled work. Work shall also conform to the specification, other drawings and J&B
 dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not
 commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright
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PolyGlobal
 PROJECT NAME
51 Terry Rd
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 PROJECT NUMBER
2281

DRAWING TITLE
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 DRAWN BY TB
 CHECKED JS
 DATE PRINTED 11/03/2020 10:04:31 AM
 SCALE 1:50
 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.20
 REVISION
H

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B1 F1B (x 3) |
| Internal: 136 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 47/35 Sturt Street Southbank, VIC 3006
 Sydney 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify all dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

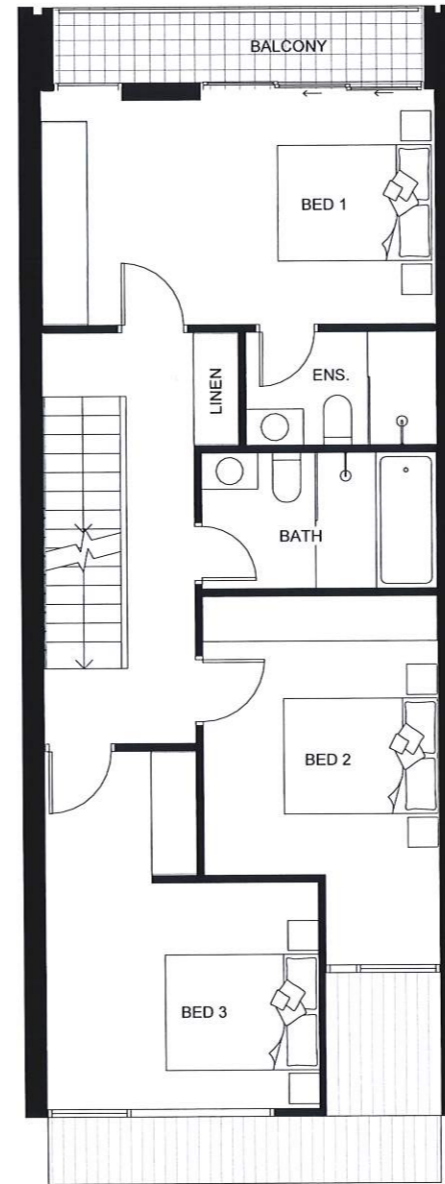
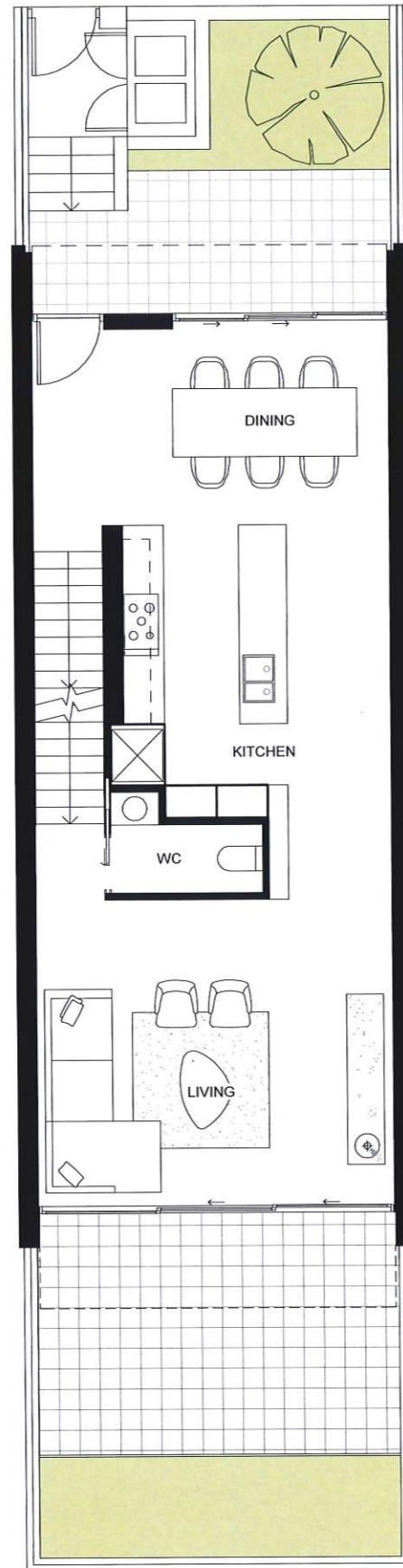
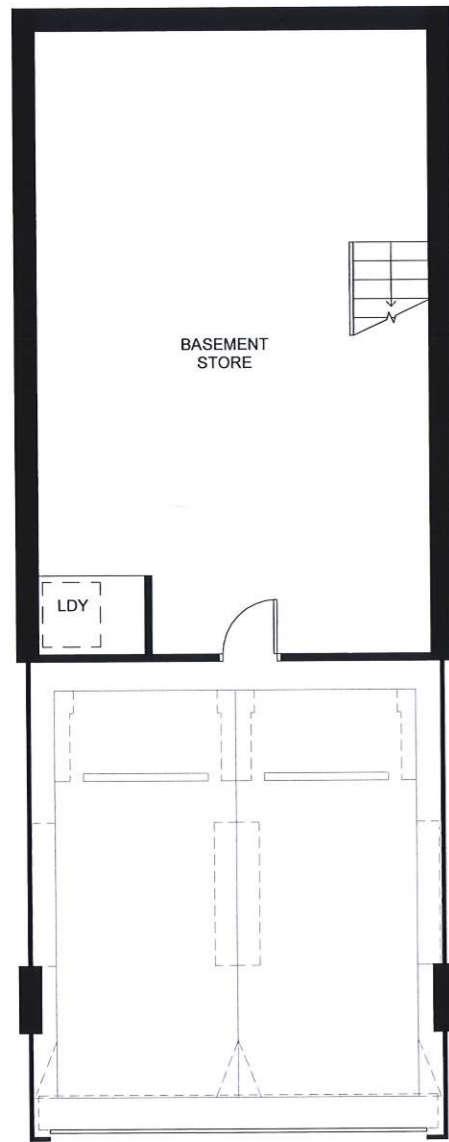
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 SCALE 1 : 50
 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.21

REVISION
D

| Rev | Description | Date |
|-----|-------------|------------|
| D | FOR DA | 10/03/2020 |
| C | FOR DA | 17/07/2019 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B1 F2A (x 3) |
| Internal: 131 m ² |
| Balcony: 8 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Old 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tondoff 6028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and J&B dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

CLIENT
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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B1 (FACADE 02A)

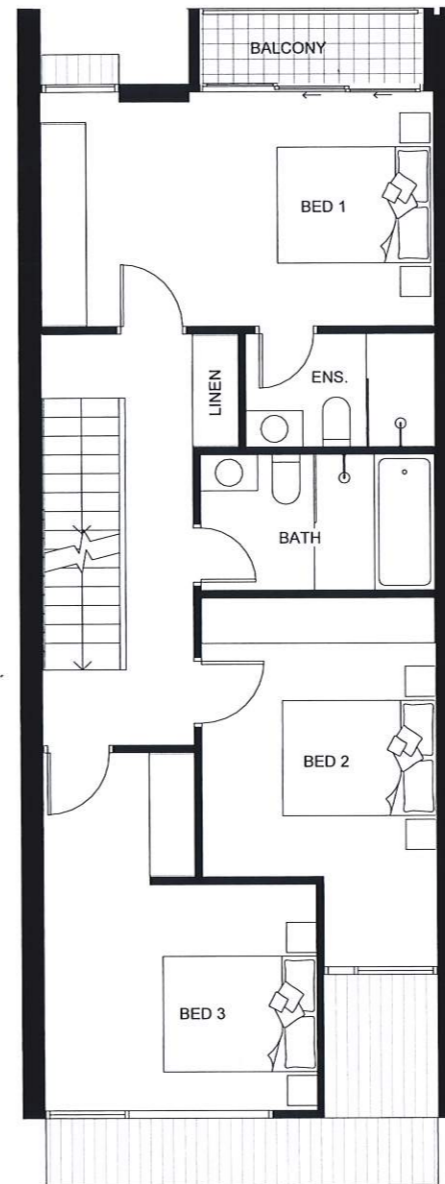
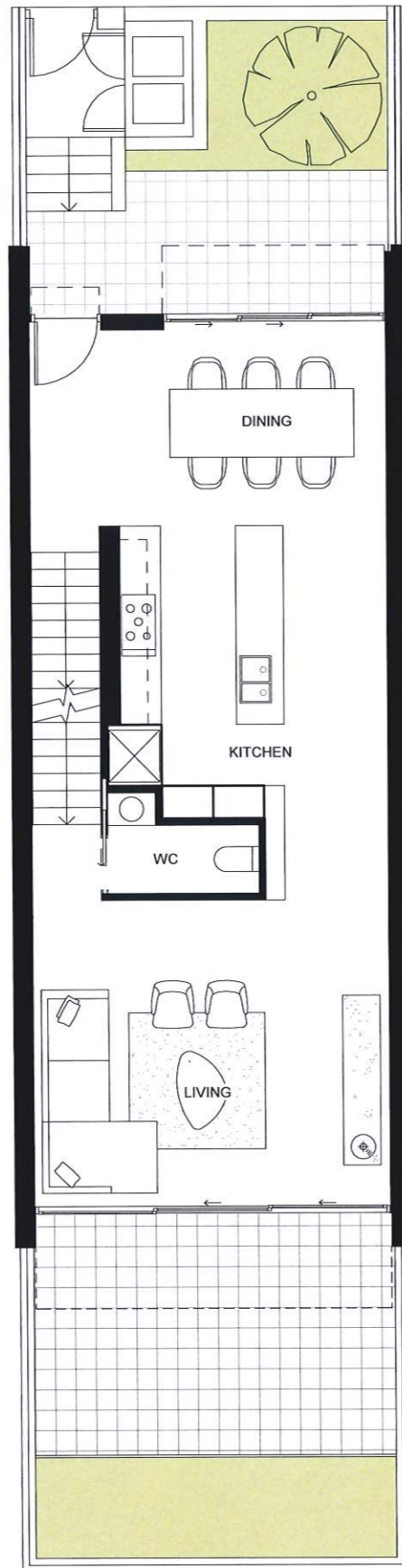
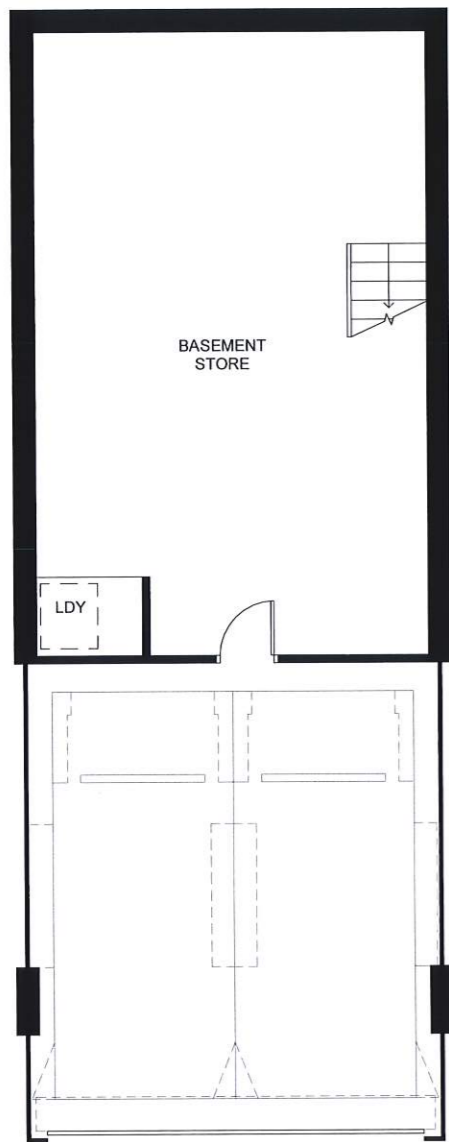
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DRAWING NUMBER
DA3.22

REVISION
E

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B1 F2B (x 3) |
| Internal: 131 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9650 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Todoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figned dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B1 (FACADE 02B)

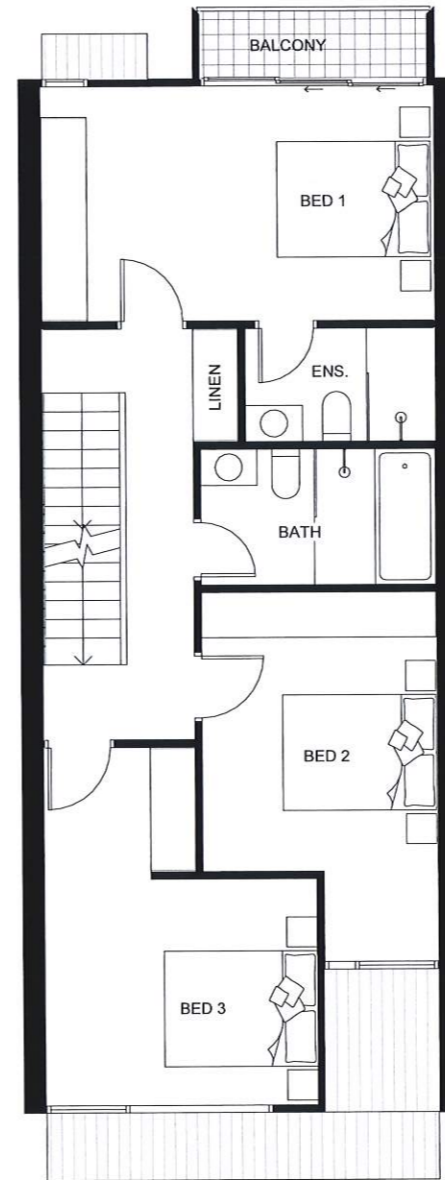
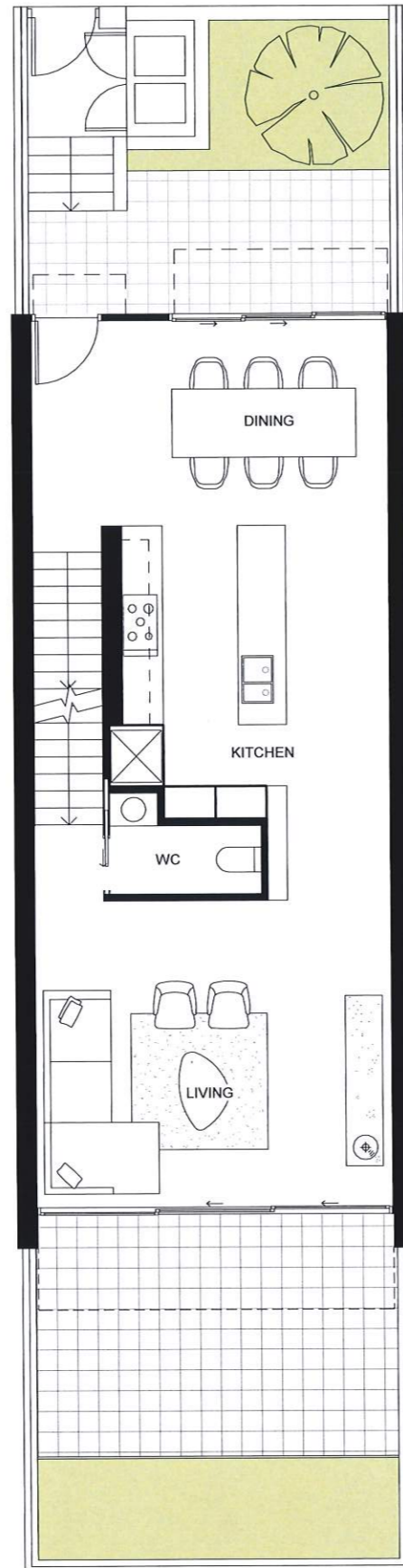
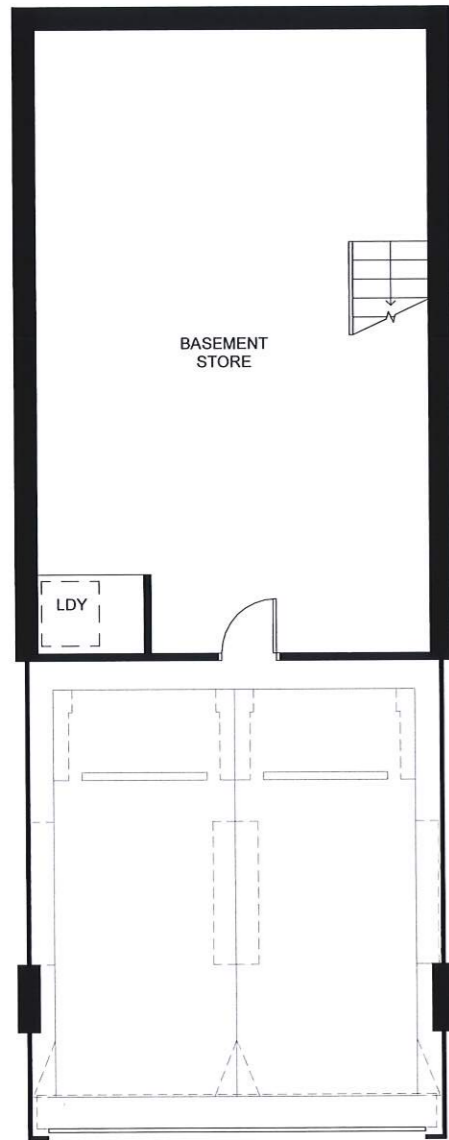
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DRAWING NUMBER
DA3.23

REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B1 F3 (x 13) |
| Internal: 131 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84005394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B1 (FACADE 03)

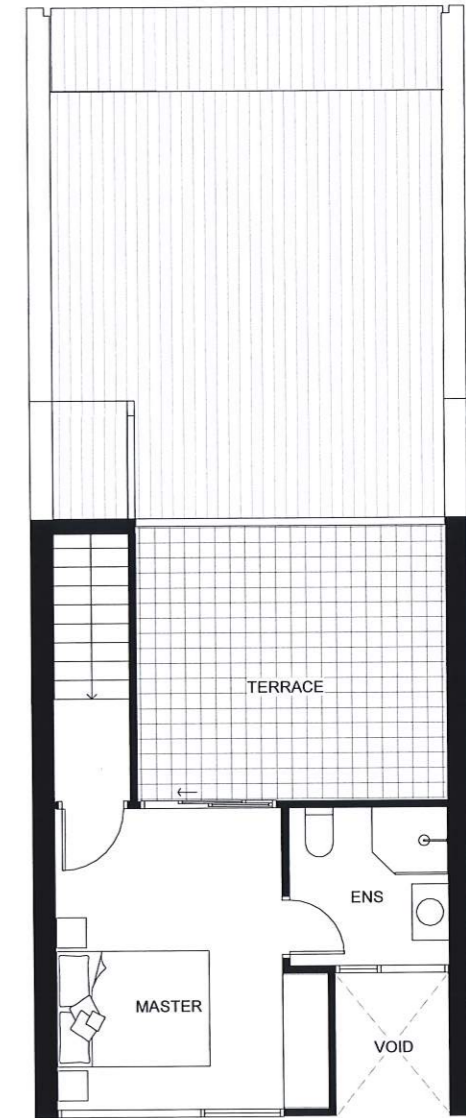
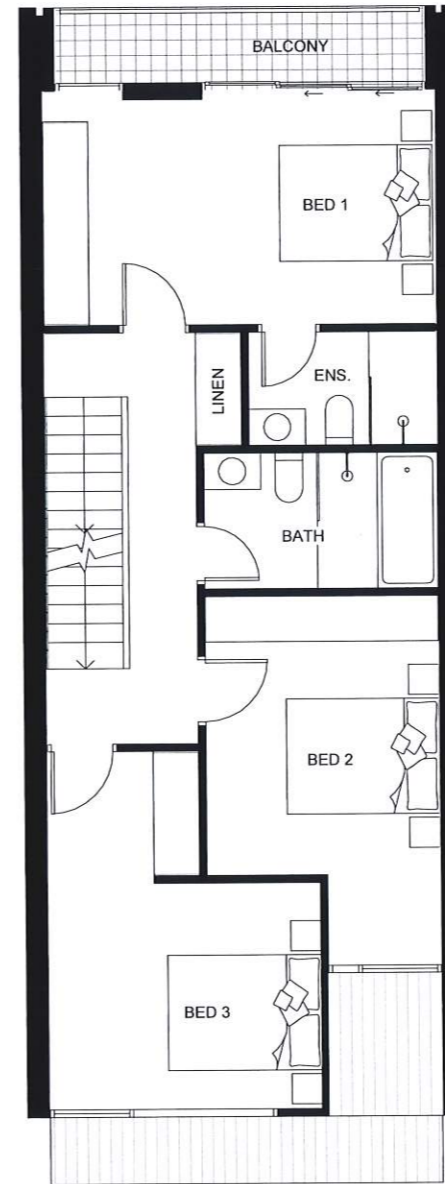
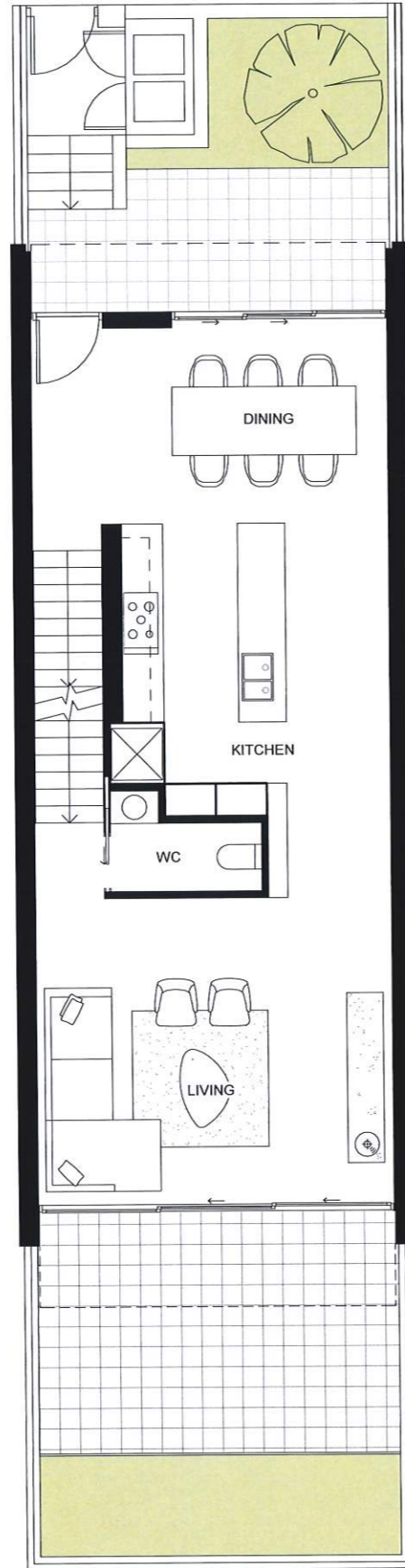
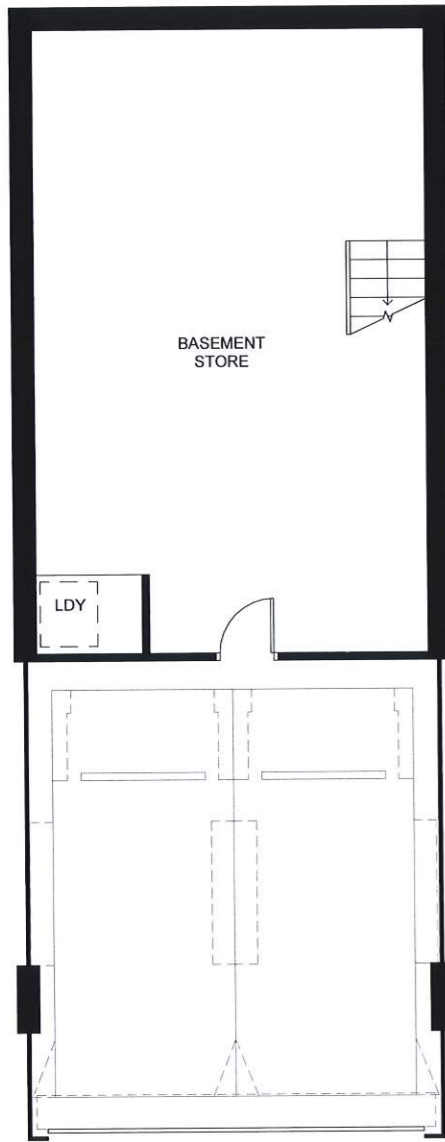
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DRAWING NUMBER
DA3.24

REVISION
E

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B2 F2A (x 9) |
| Internal: 152 m ² |
| Balcony: 16 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9599 3644 T +61 2 9650 9329 T +61 7 3211 9921
 ABN: 84005394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Torloff 8028
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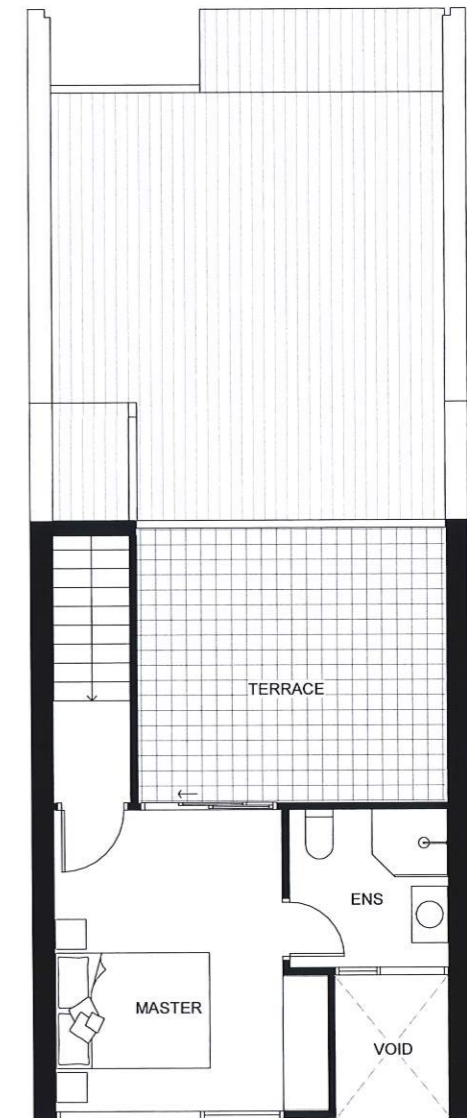
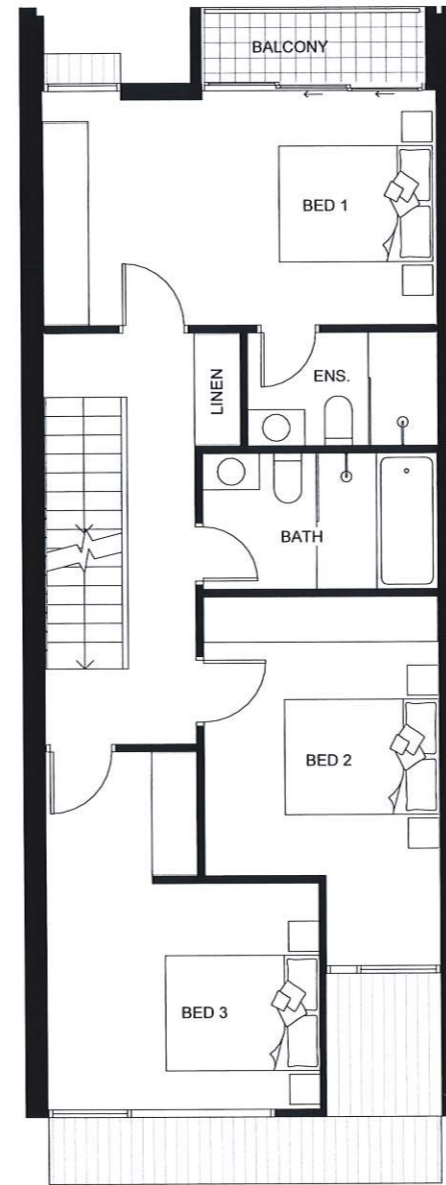
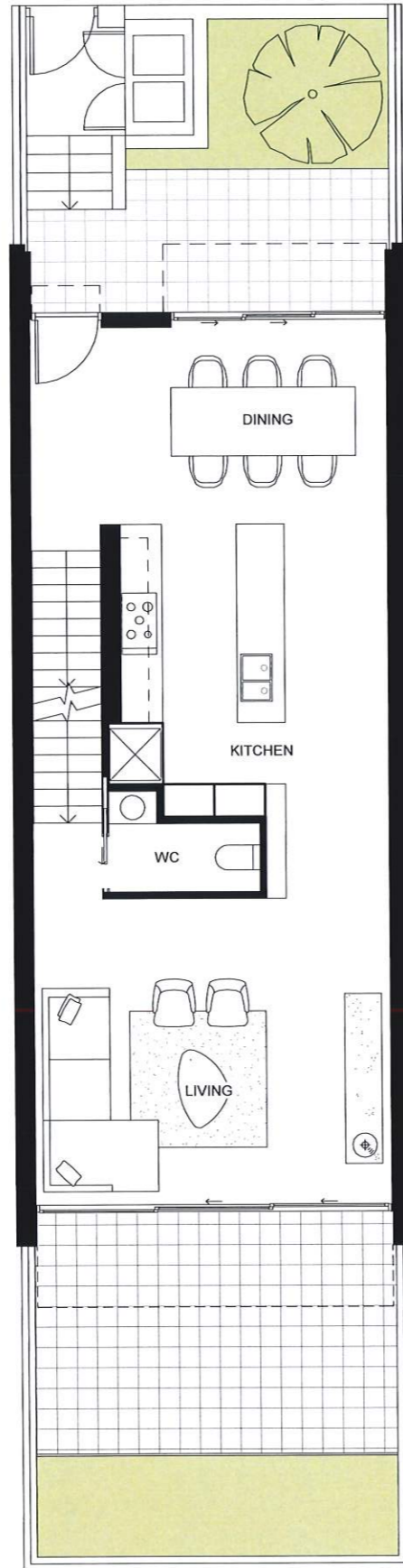
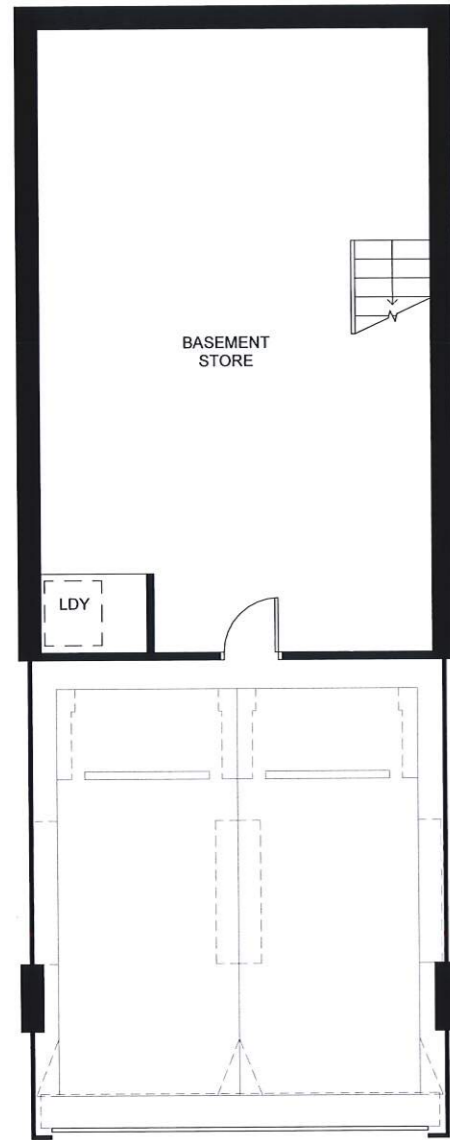
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 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.25

REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B2 F2B (x 6) |
| Internal: 152 m ² |
| Balcony: 16 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9921
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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51 Terry Rd
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51 Terry Rd, Rouse Hill NSW
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2281

DRAWING TITLE
TYPE B2 (FACADE 02B)

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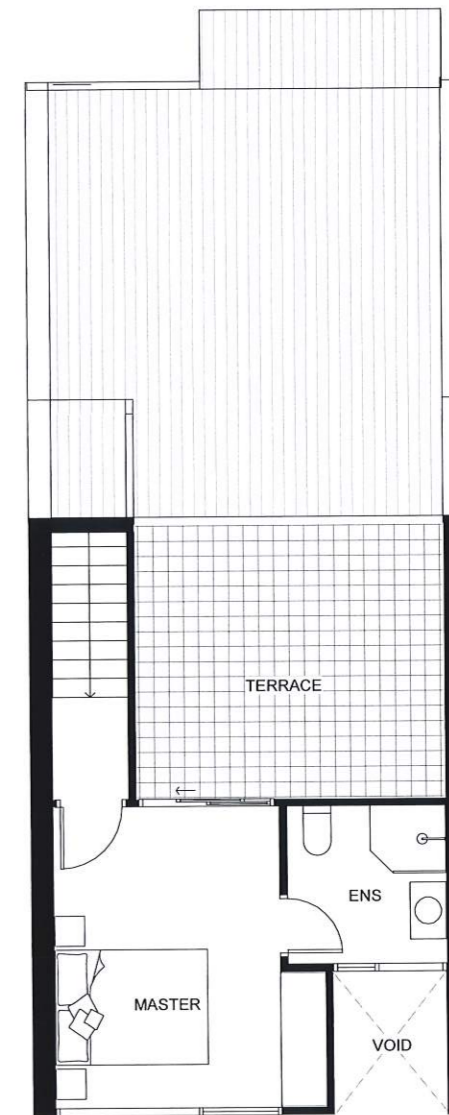
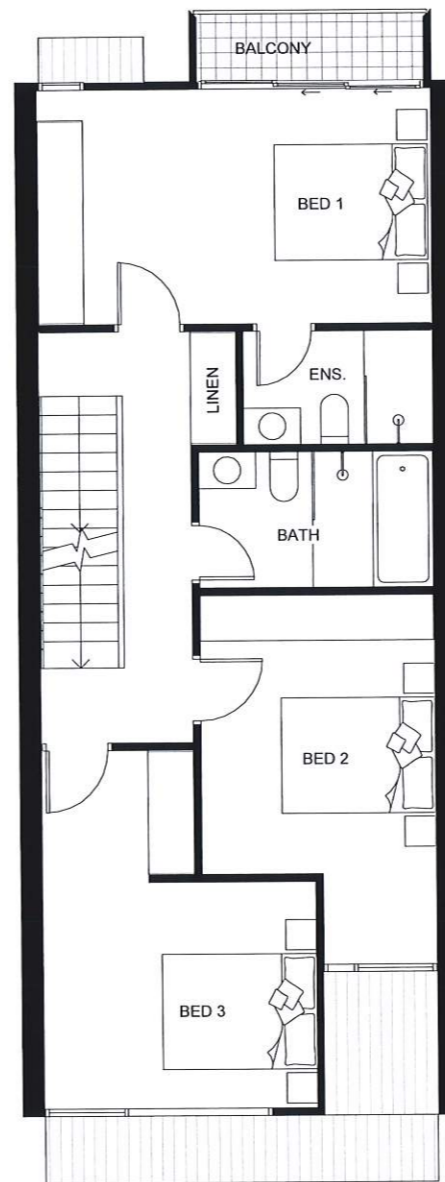
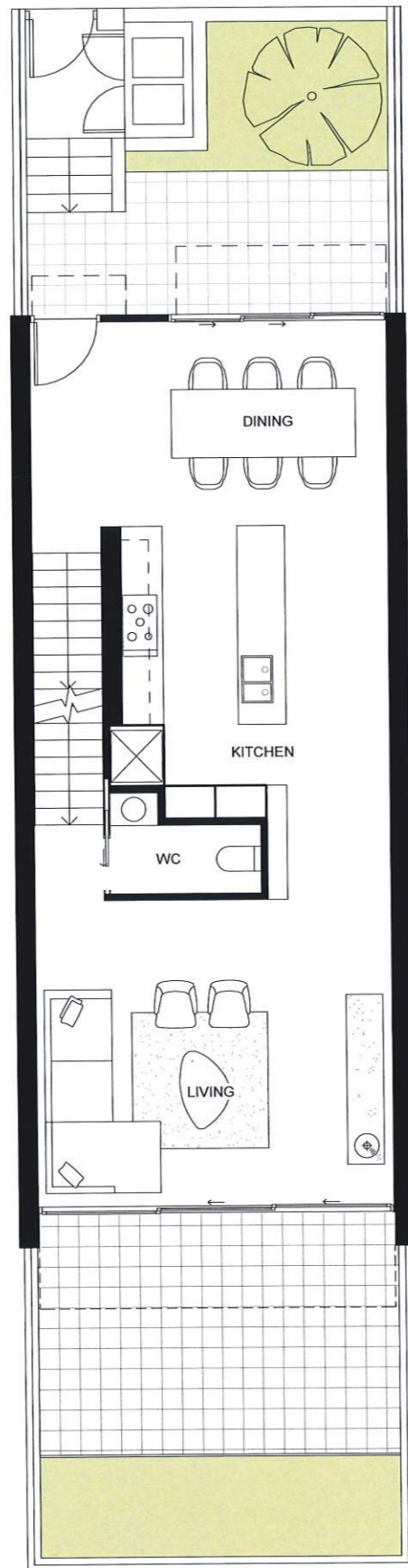
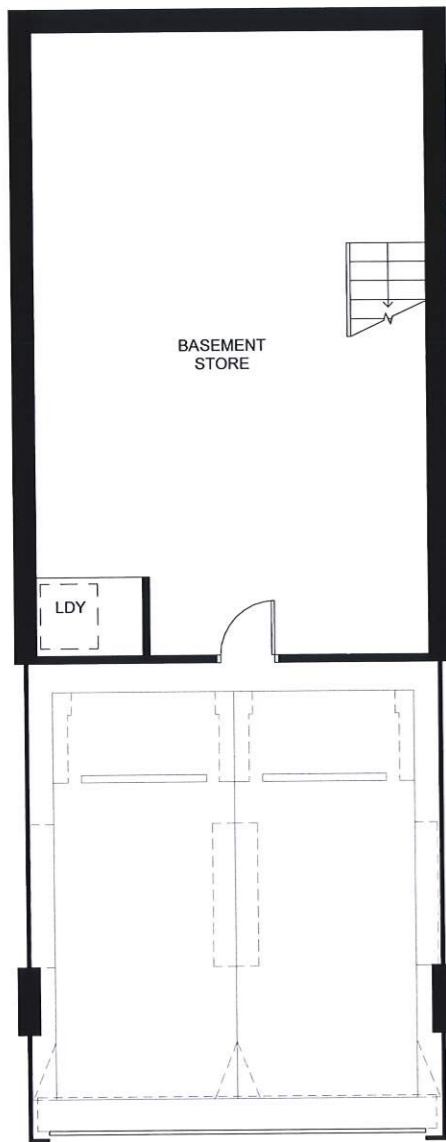
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DA3.26

REVISION
C

STATUS
DEVELOPMENT APPLICATION

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B2 F3 (x 10) |
| Internal: 150 m ² |
| Balcony: 16 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 41135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9599 3844 T +61 2 9650 9329 T +61 7 3211 9921
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Builder/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B2 (FACADE 03)

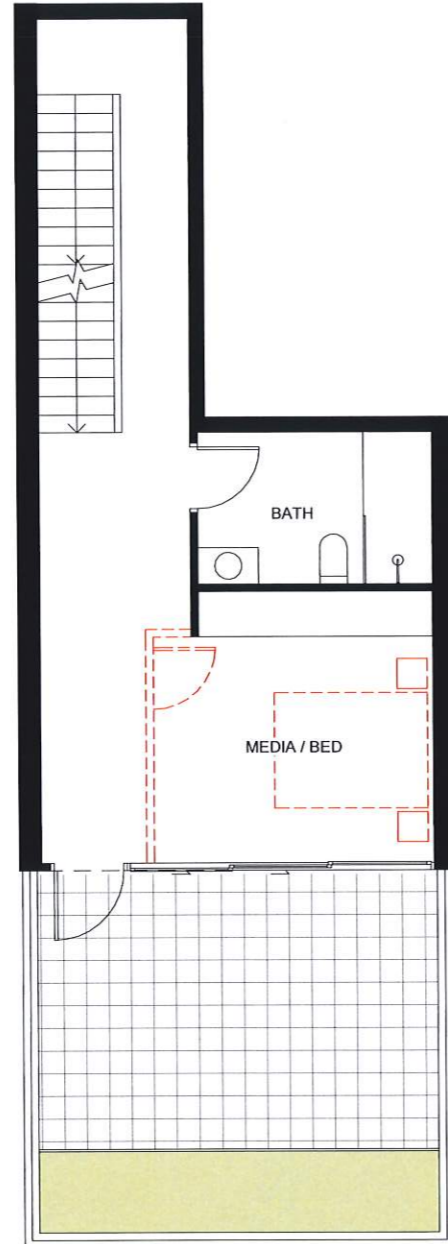
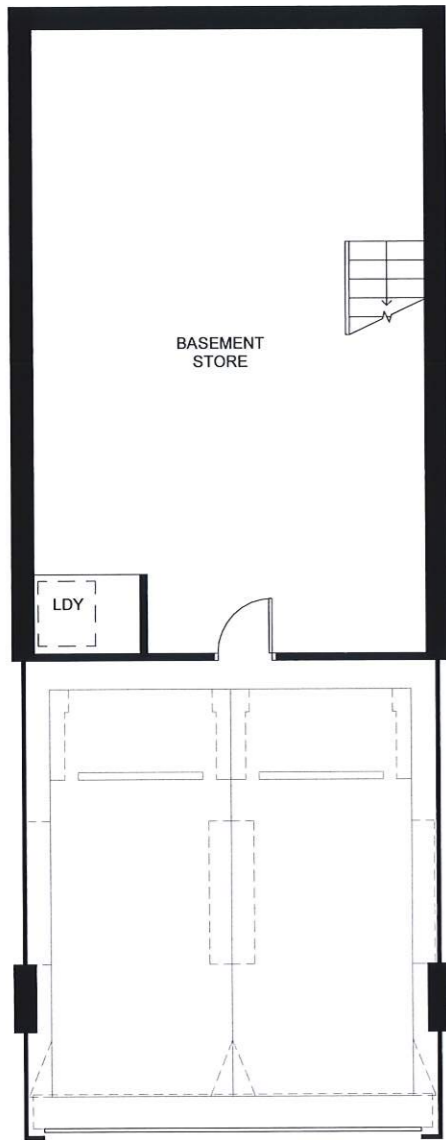
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DRAWING NUMBER
DA3.27

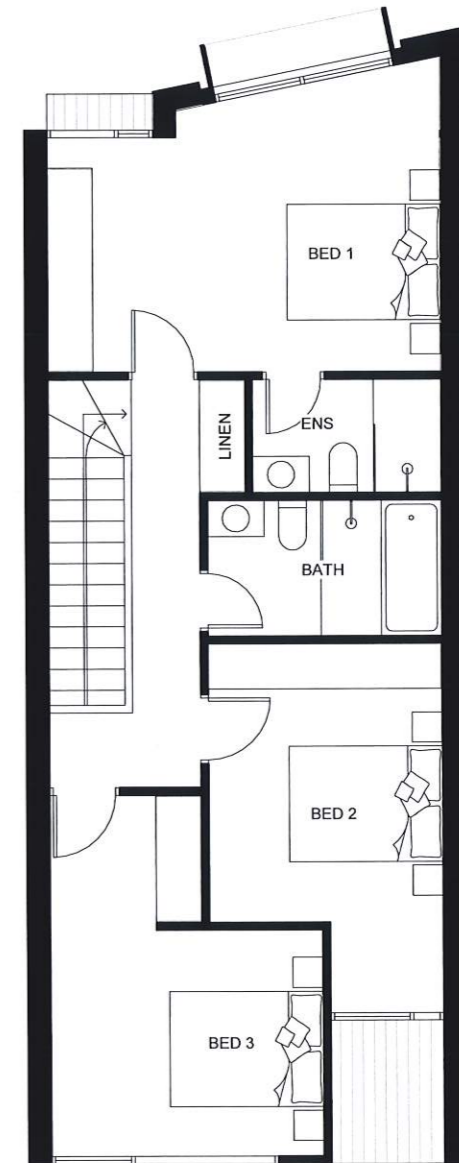
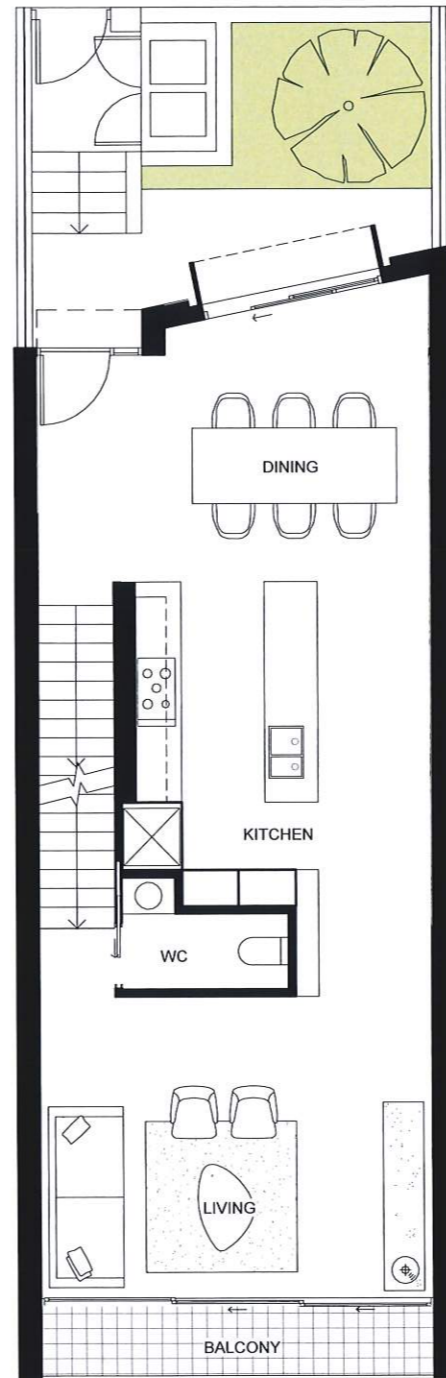
REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



1200



| |
|---|
| TYPE B3 F1A (x 1) |
| Internal: 163 m ² |
| Balcony: 8 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 5621
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figned dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B3 (FACADE 01A)

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 DATE PRINTED 11/03/2020 10:05:15 AM
 SCALE 1 : 50

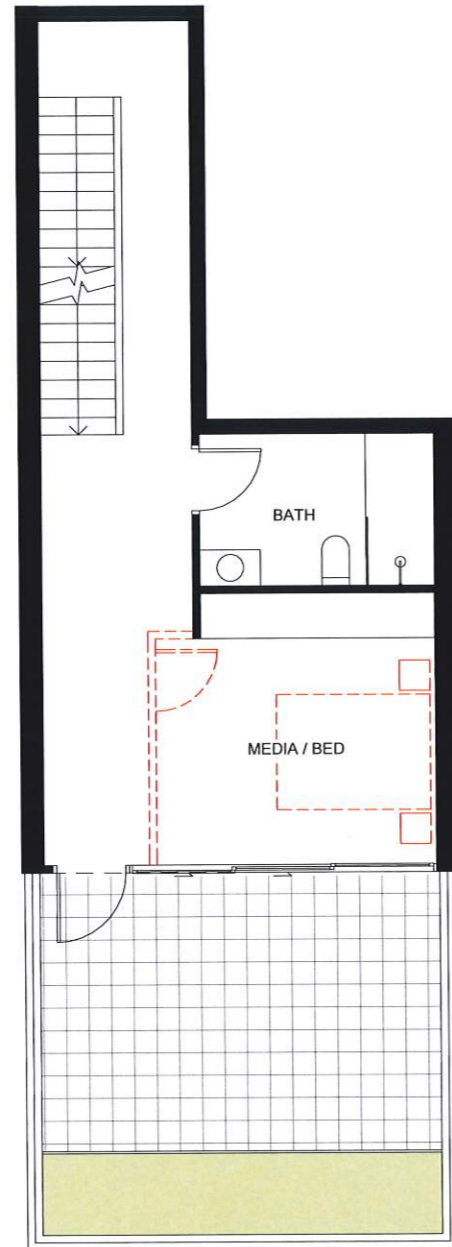
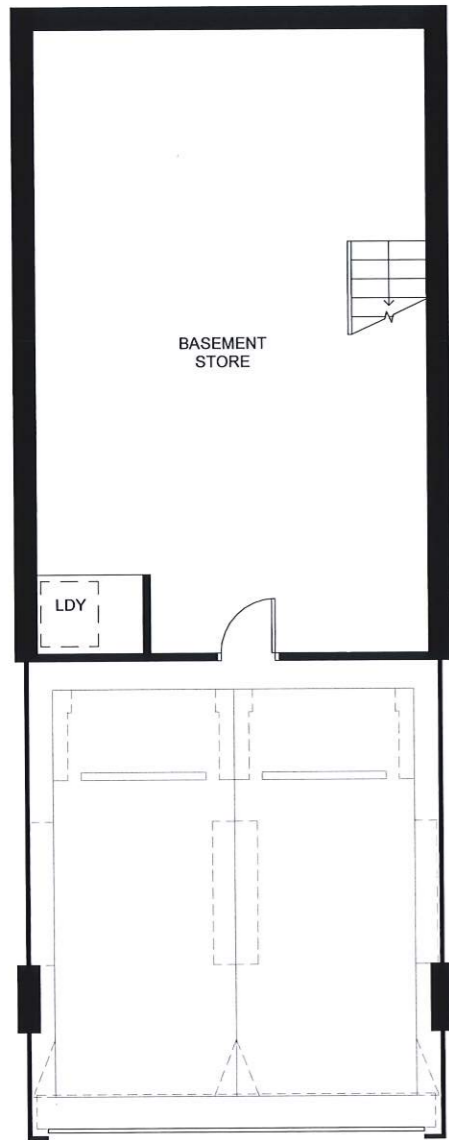
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DA3.28



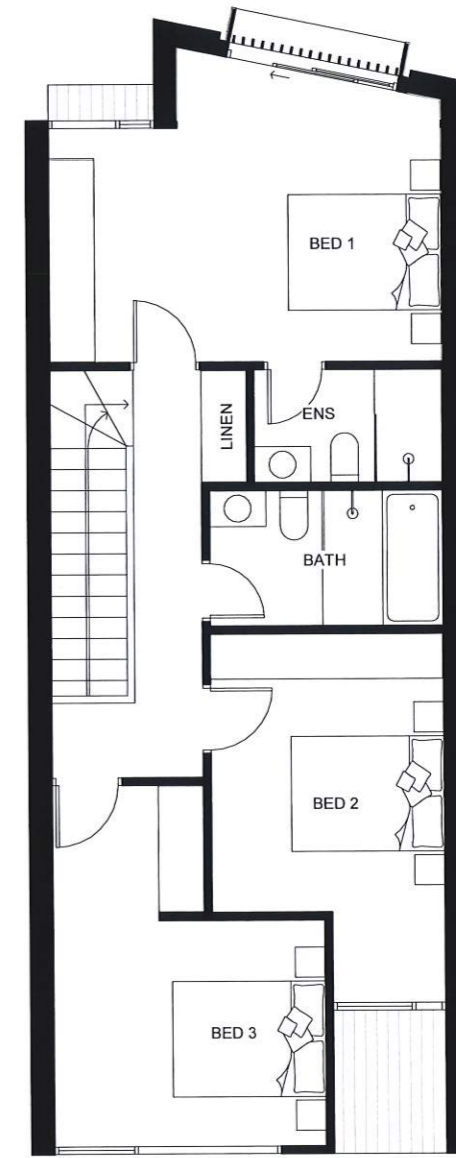
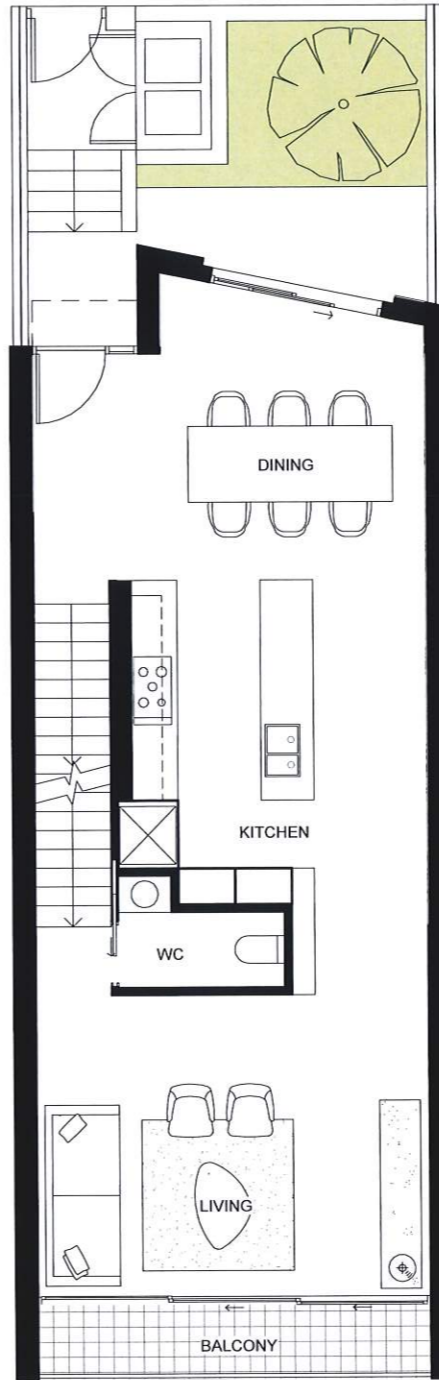
REVISION
B

| Rev | Description | Date |
|-----|-------------|------------|
| B | FOR DA | 10/03/2020 |
| A | FOR DA | 17/07/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



1200



| |
|---|
| TYPE B3 F1B (x 3) |
| Internal: 163 m ² |
| Balcony: 8 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 41/35 Sturt Street Southbank, VIC 3006
 Sydney 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 AS/NZS 4455:2016 Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

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51 Terry Rd
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 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B3 (FACADE 01B)

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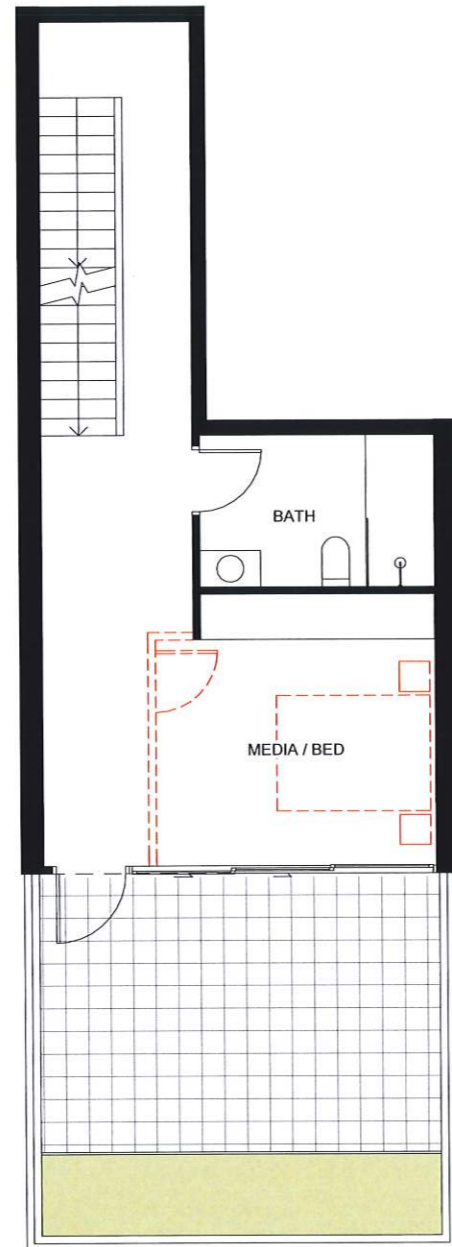
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DA3.29



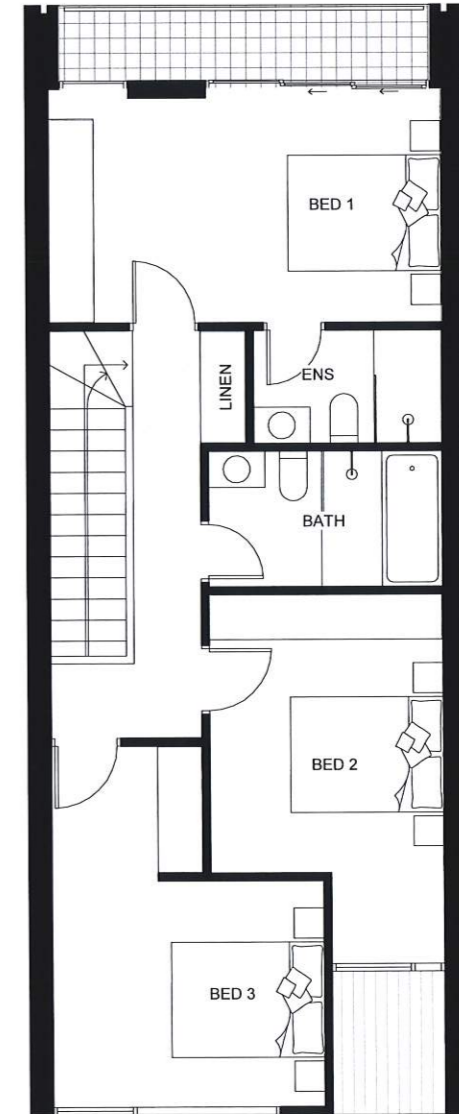
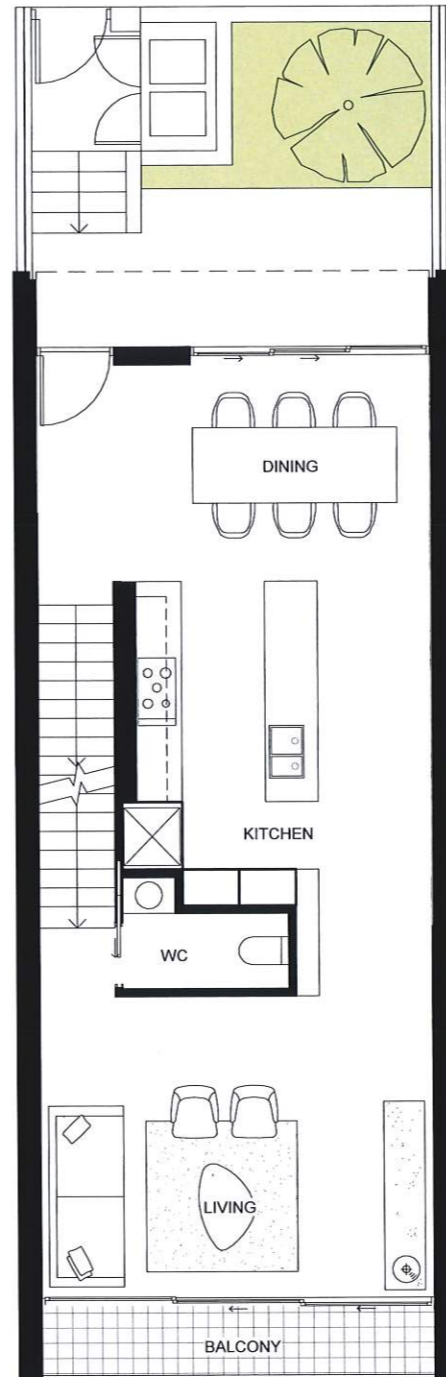
REVISION
B

| Rev | Description | Date |
|-----|-------------|------------|
| B | FOR DA | 10/03/2020 |
| A | FOR DA | 17/07/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



1200



| |
|---|
| TYPE B3 F2A (x 2) |
| Internal: 163 m ² |
| Balcony: 13 m ² |
| Laundry: 15 m ² Nom (Varies) |

KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9599 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architects/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architects/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

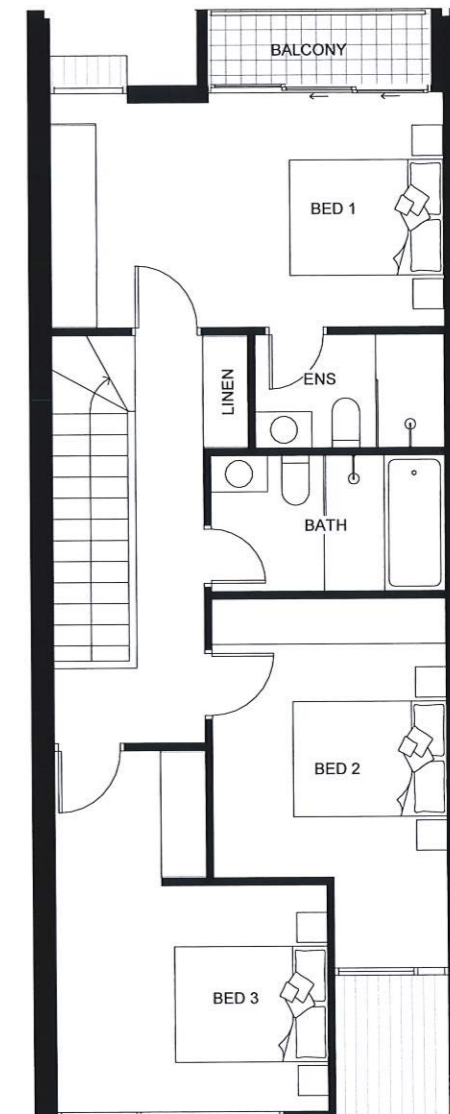
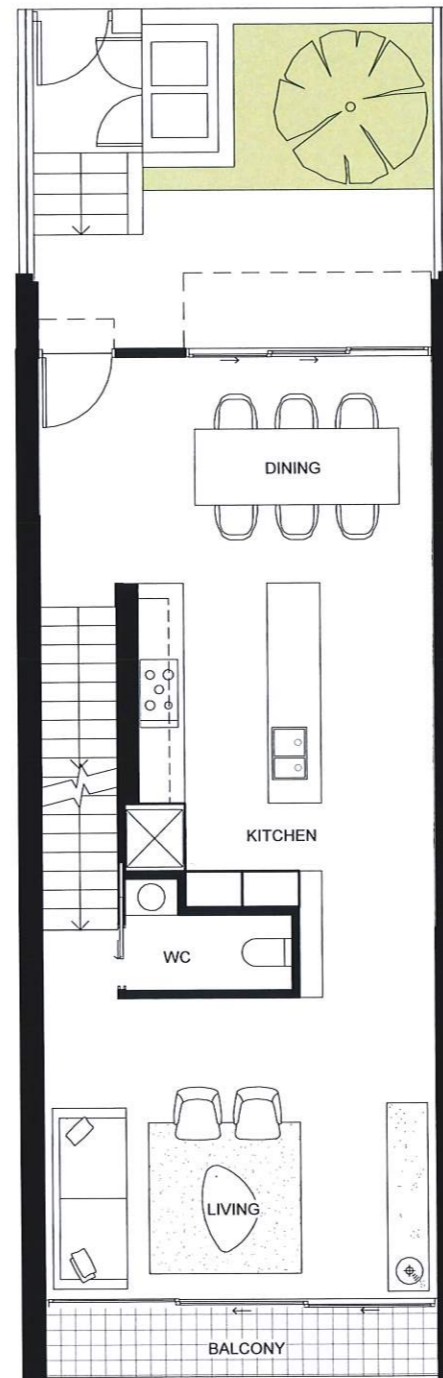
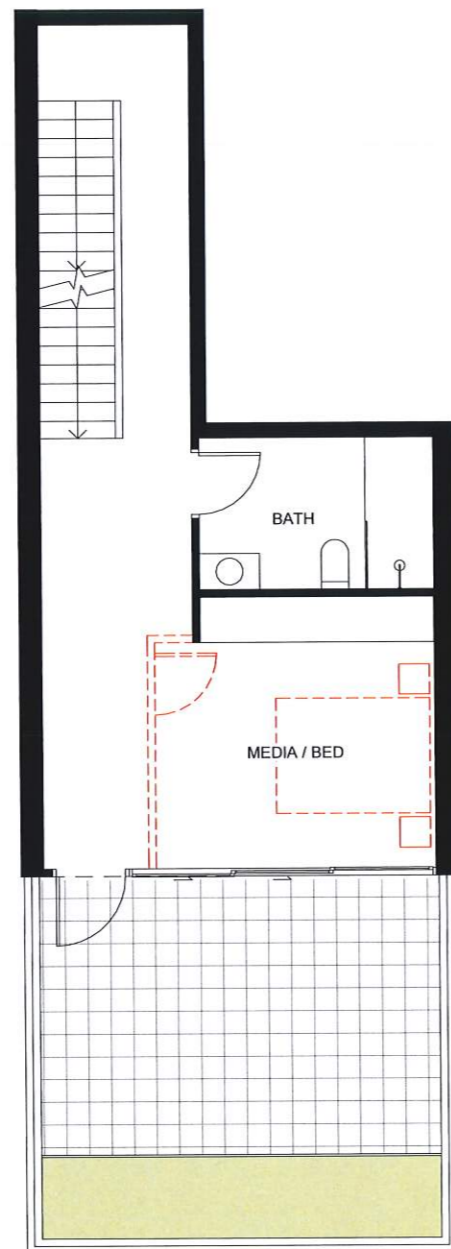
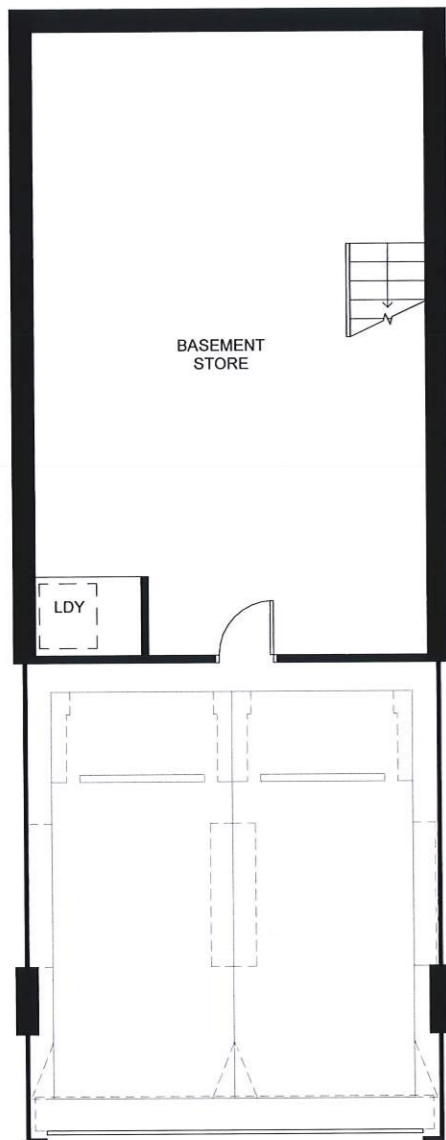
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TYPE B3 (FACADE 02A)

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 SCALE 1 : 50

DRAWING NUMBER
DA3.30

REVISION
G

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B3 F2B (x 1) |
| Internal: 163 m ² |
| Balcony: 11 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006
 Sydney 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 T +61 3 9599 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B3 (FACADE 02B)

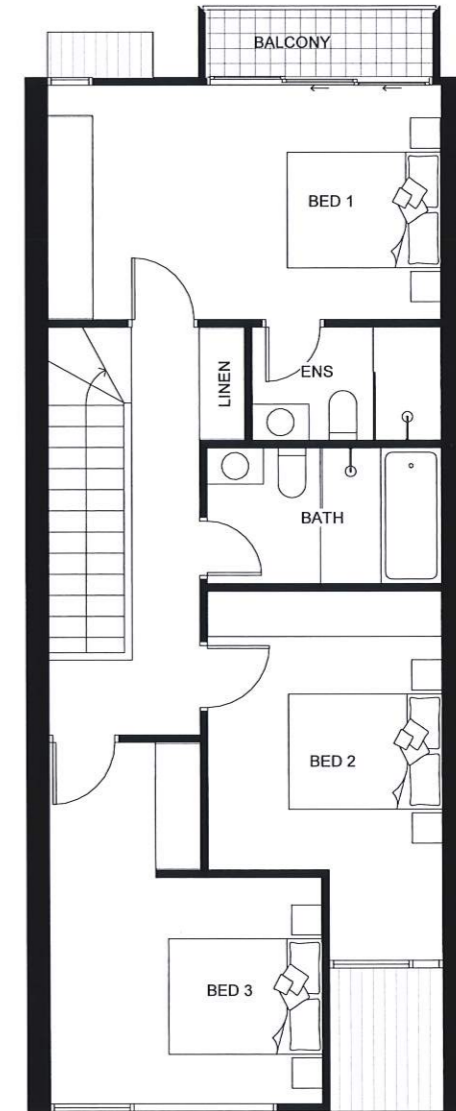
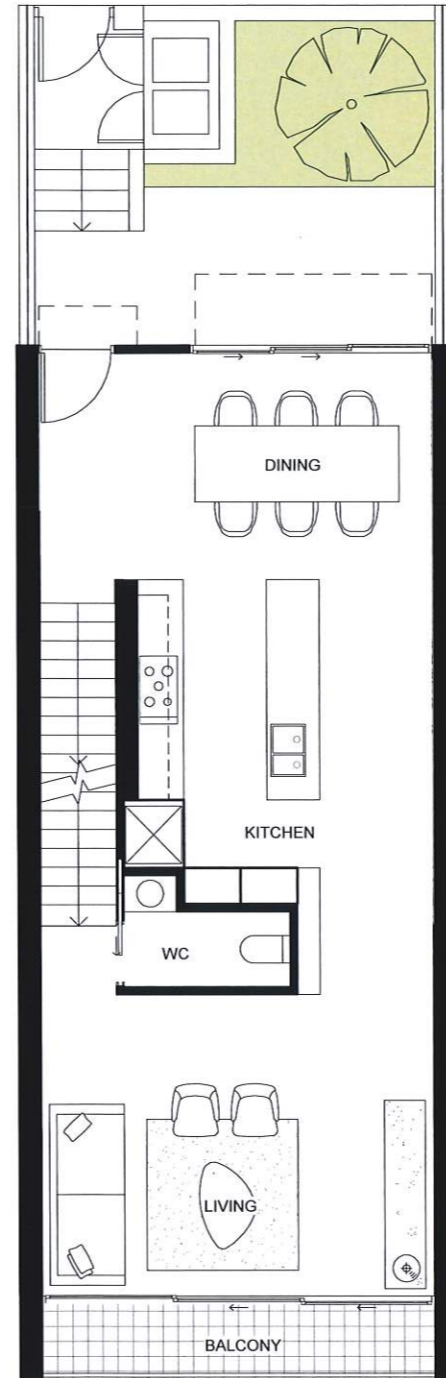
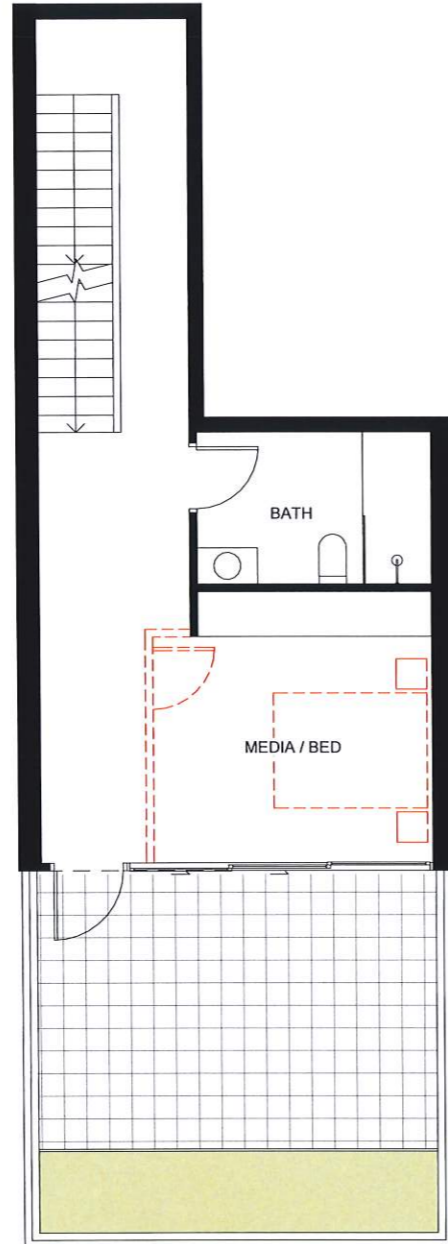
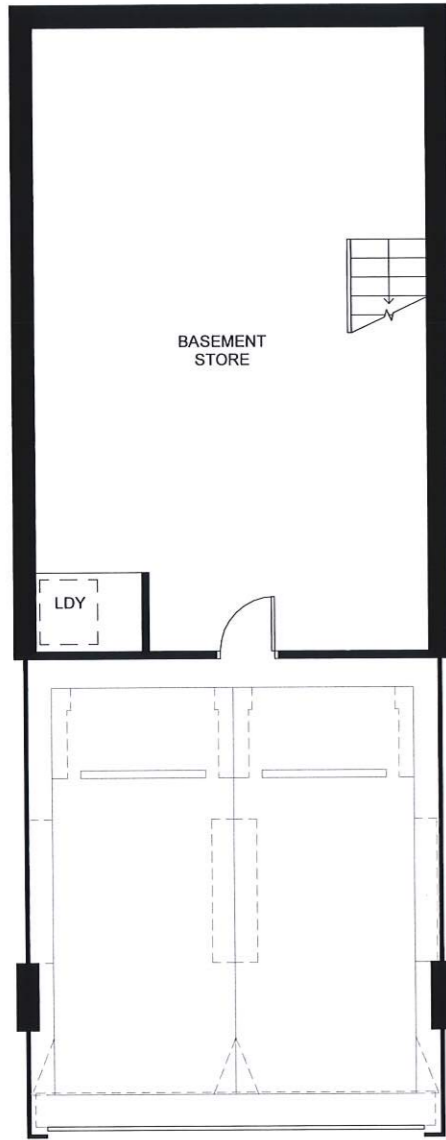
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DRAWING NUMBER
DA3.31

REVISION
E

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE B3 F3 (x 4) |
| Internal: 163 m ² |
| Balcony: 11 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3006 T +61 3 9699 3644
 Sydney Ground Floor 11-17 Buckingham Street Surry Hills NSW 2010 T +61 2 9660 9329
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 5821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT NAME
51 Terry Rd
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51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE B3 (FACADE 03)

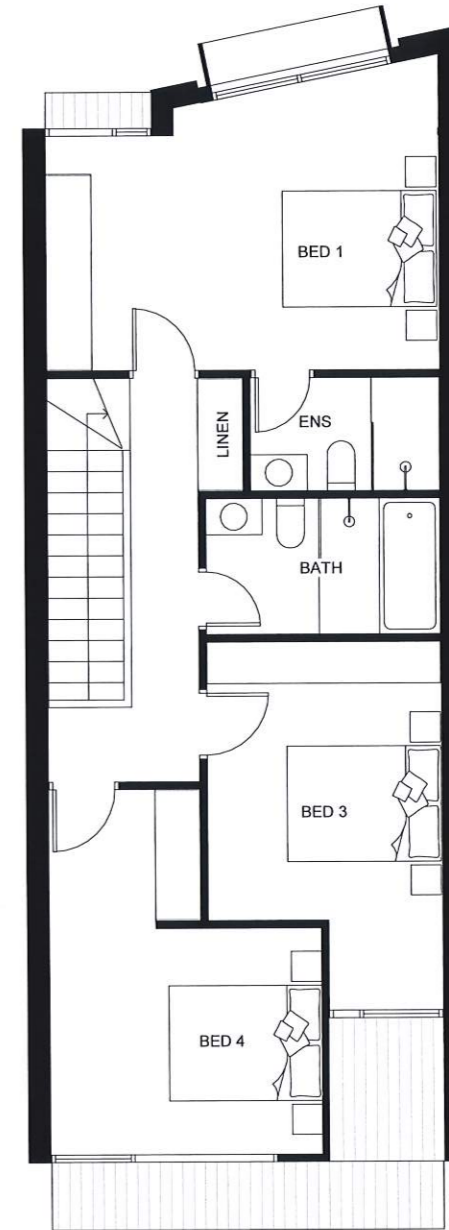
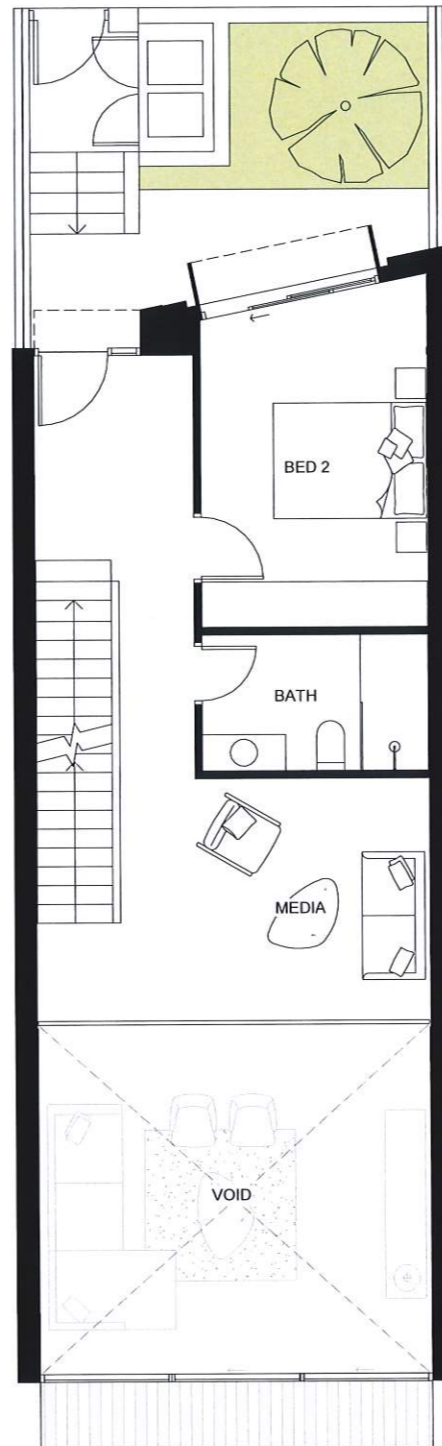
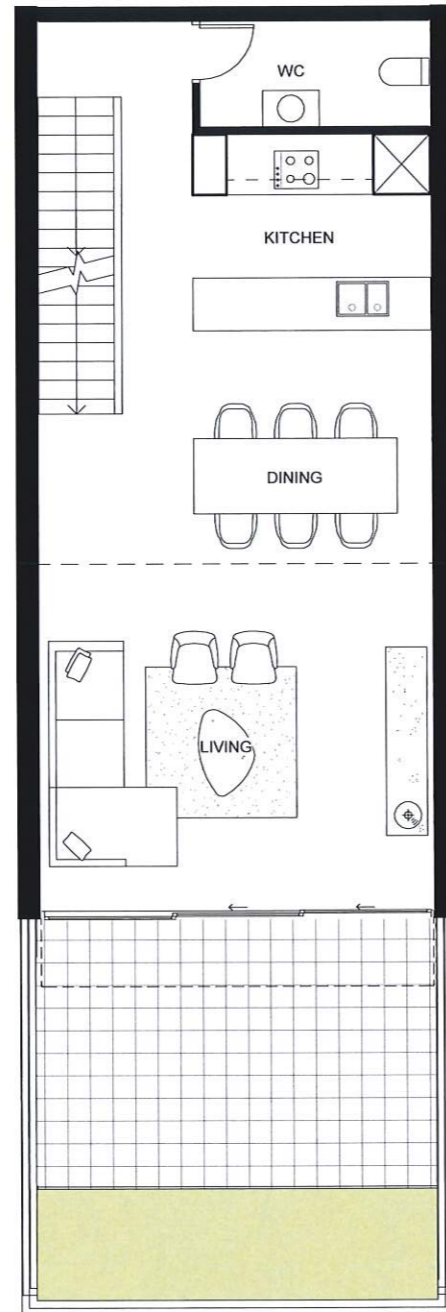
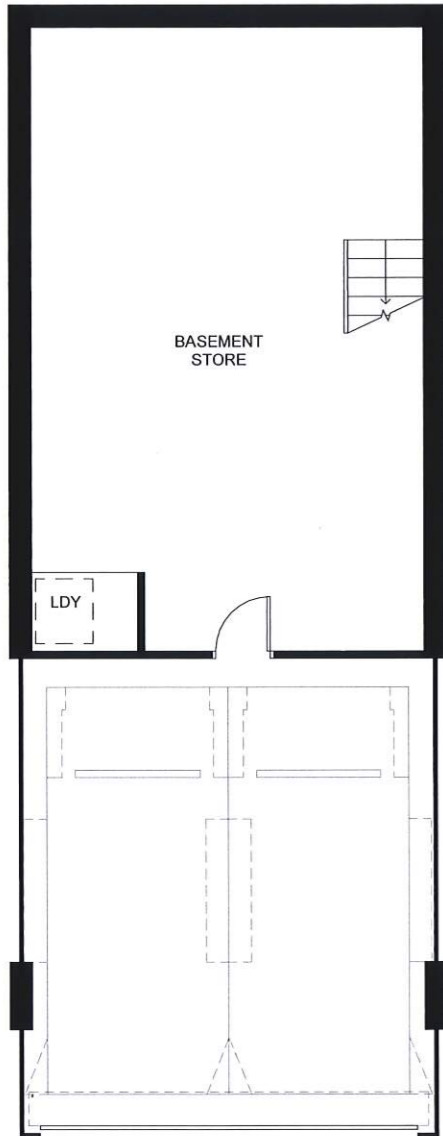
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 SCALE 1 : 60

DRAWING NUMBER
DA3.32

REVISION
E

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE C F1A (x 7) |
| Internal: 170 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne Sydney Brisbane
 4/135 Ground Floor Level 12,
 Sturt Street Southbank, 11-17 Buckingham Street 324 Queen Street,
 VIC 3006 Surry Hills NSW 2010 Brisbane QLD 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify all dimensions before any site commences. Figured dimensions shall take
 precedence over scaled work. Work shall also conform to the specification, other drawings and site
 dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not
 commence until the return of inspected shop drawings signed by the Architect/Consultant. © Copyright
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51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

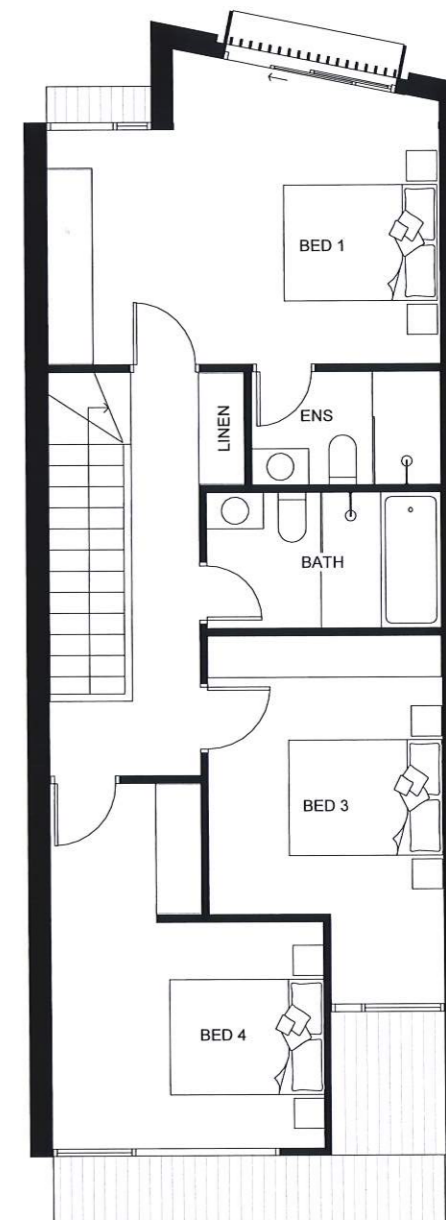
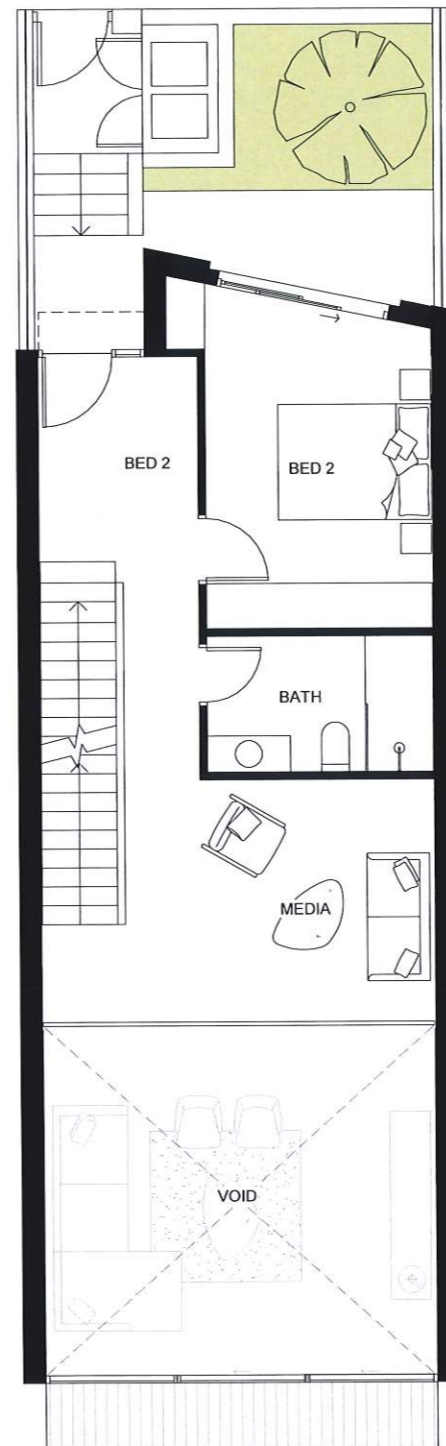
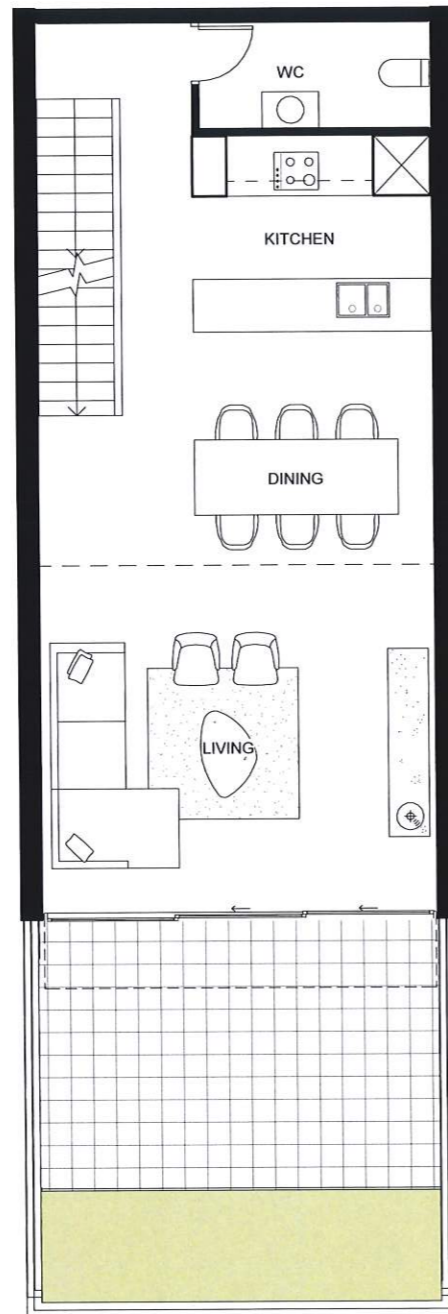
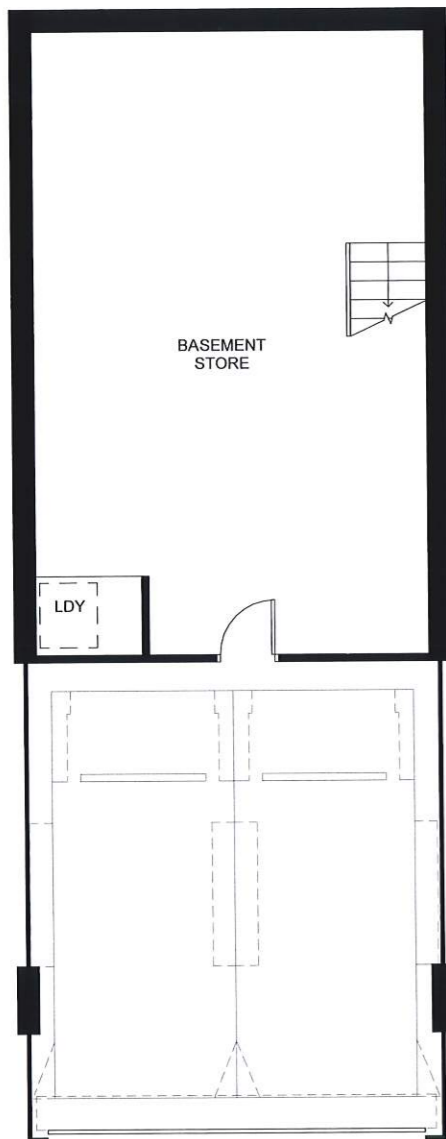
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 STATUS
DEVELOPMENT APPLICATION

DRAWING NUMBER
DA3.40

REVISION
H

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |

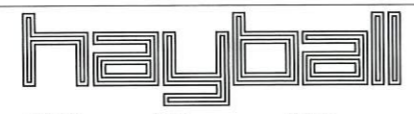
BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE C F1B (x 7) |
| Internal: 170 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |

KEY MAP

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 17/07/2019 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |



Melbourne 4/135
Sydney Ground Floor
Brisbane Level 12,
324 Queen Street,
Brisbane Qld 4000
VIC 3005
11-17 Buckingham Street
Sunny Hills NSW 2010
T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Views shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of accepted shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

CLIENT
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PROJECT NAME
51 Terry Rd
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51 Terry Rd, Rouse Hill NSW
PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

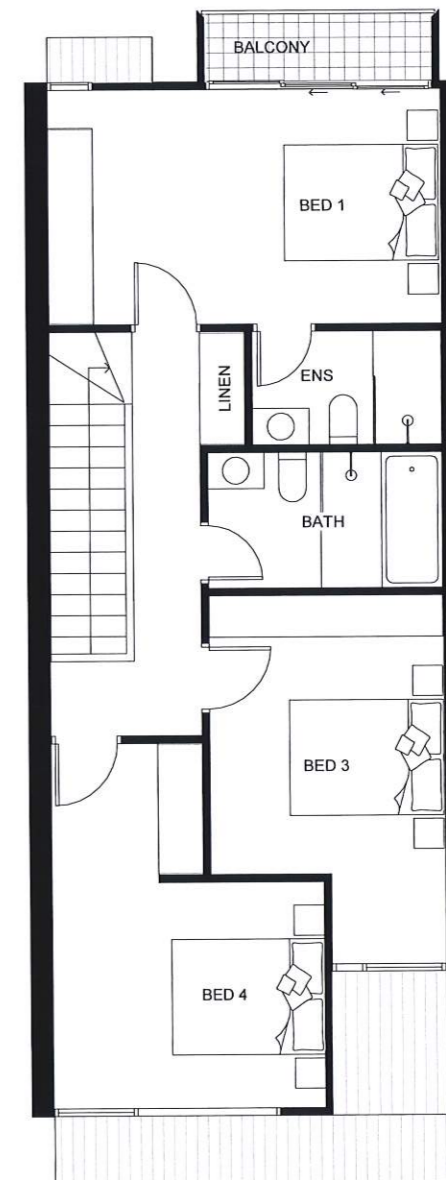
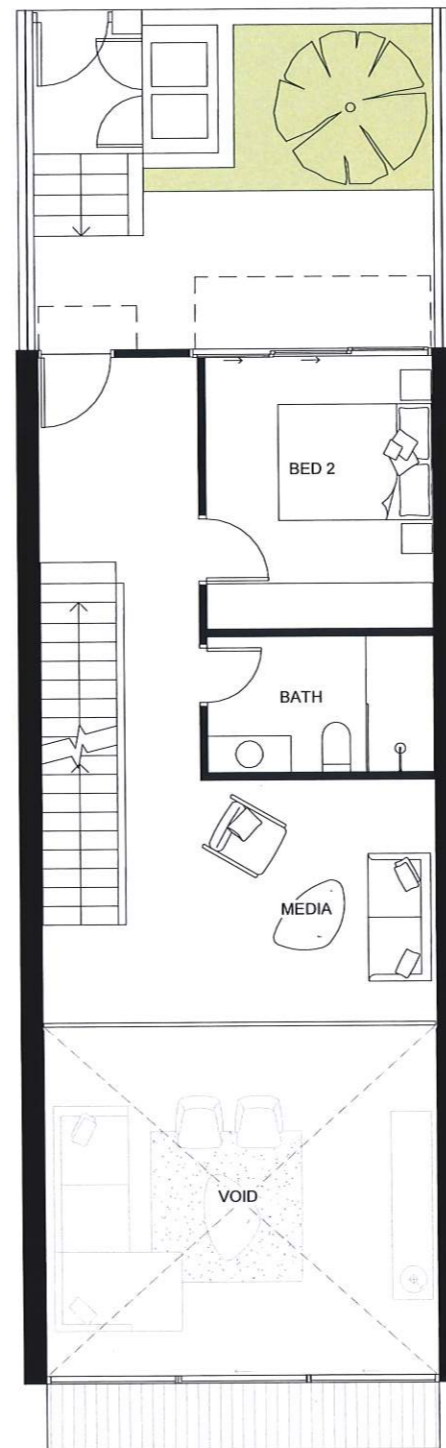
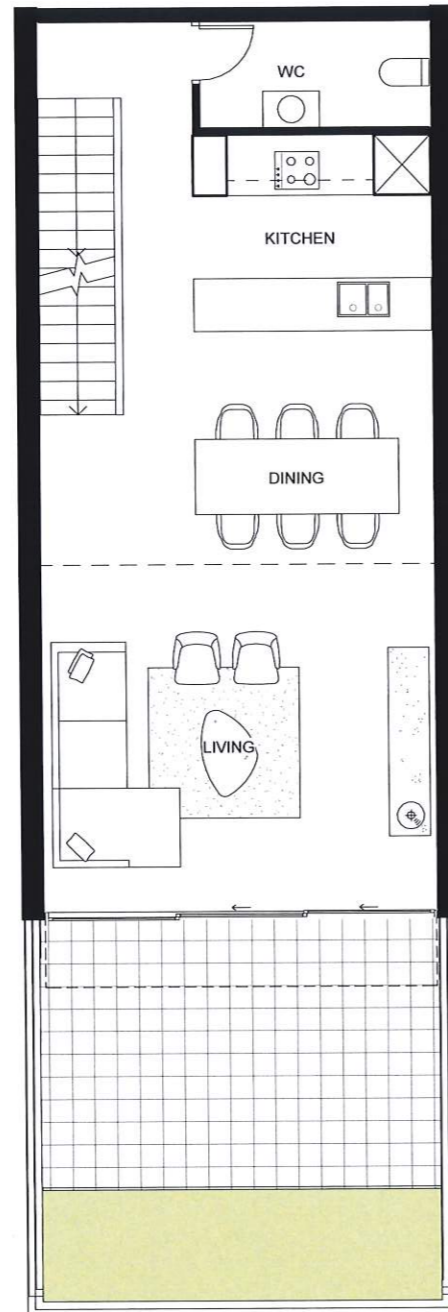
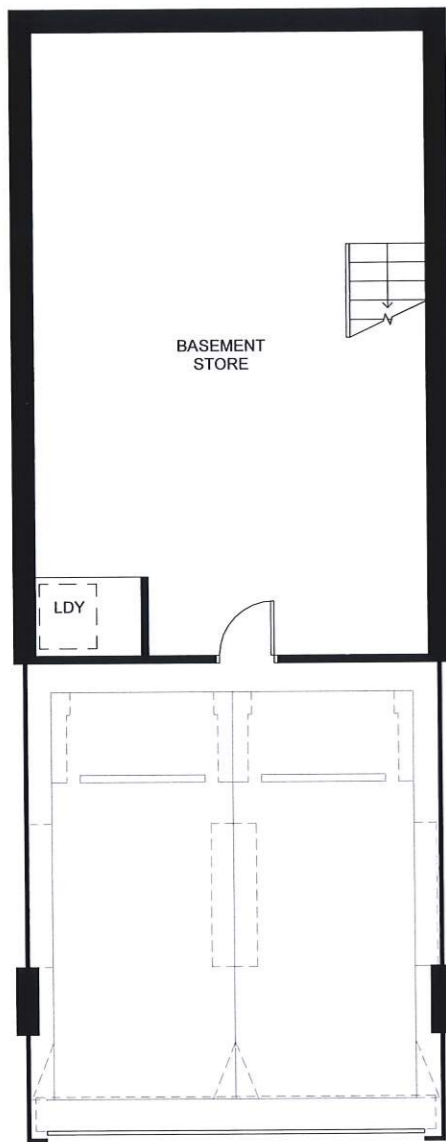
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SCALE 1 : 50

DRAWING NUMBER
DA3.41

REVISION
F

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE C F3 (x 10) |
| Internal: 165 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



Melbourne 4/135 Sturt Street Southbank, VIC 3206
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings agreed by the Architect/Consultant. © Copyright 2008. All rights reserved.

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51 Terry Rd, Rouse Hill NSW
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2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE C (FACADE 03)

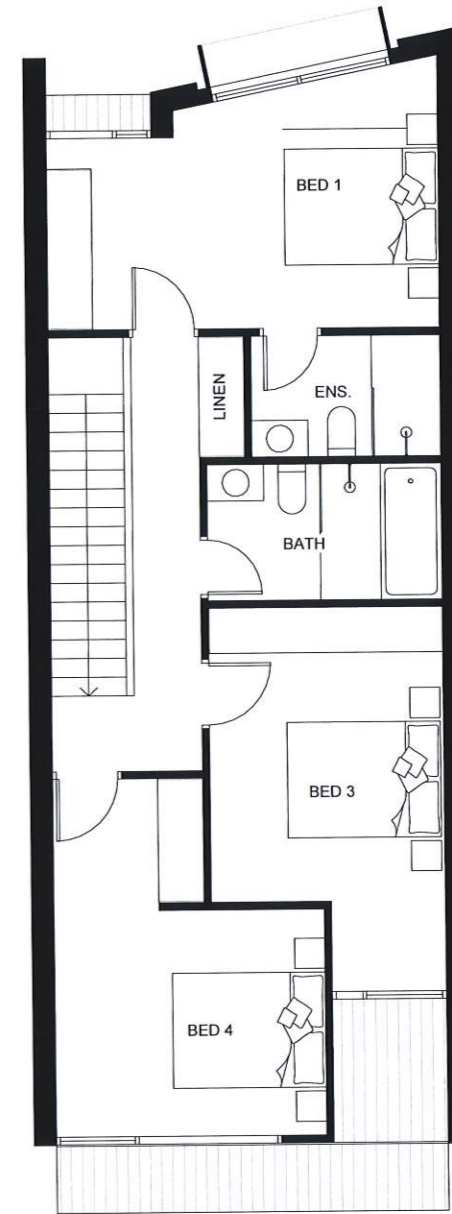
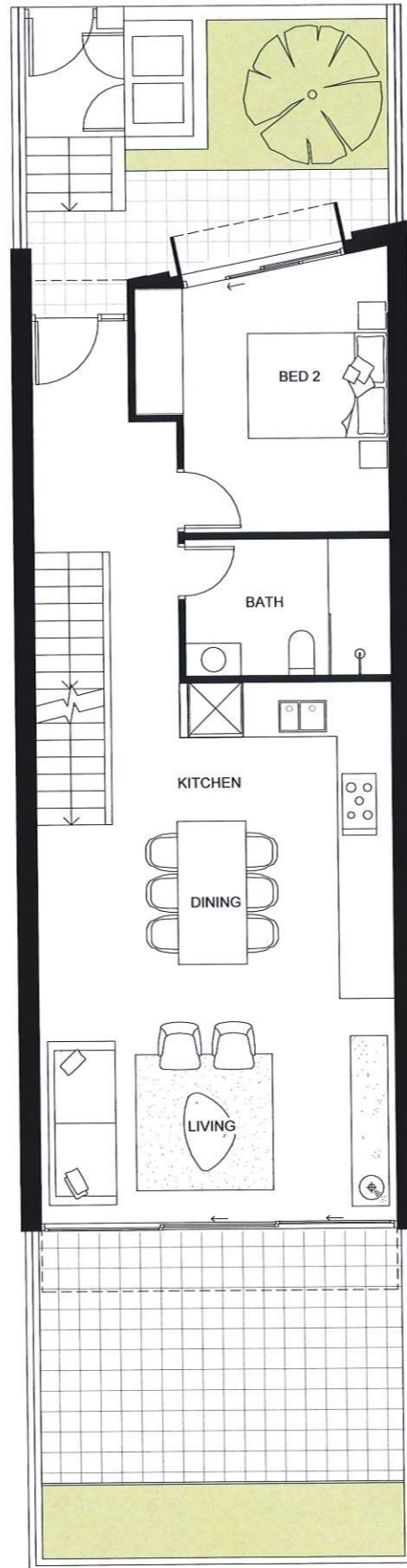
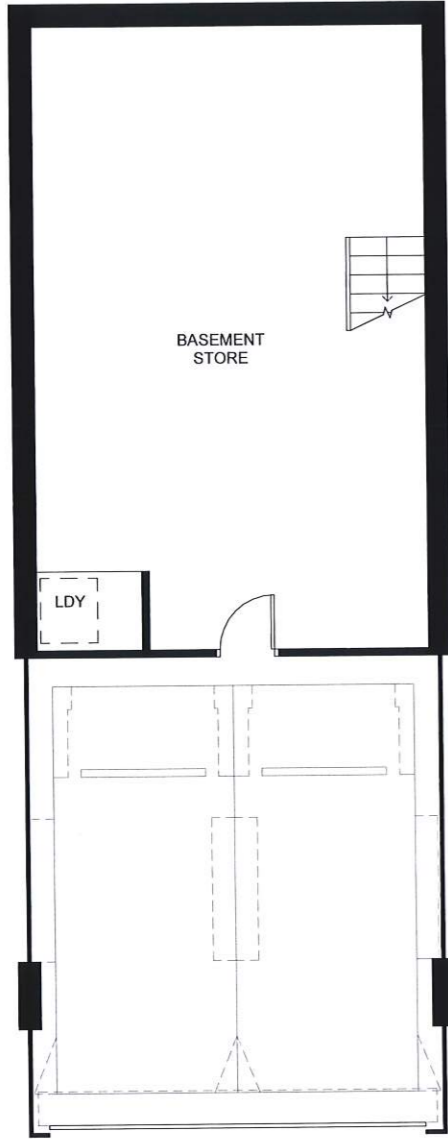
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 SCALE 1 : 50

DRAWING NUMBER
DA3.42

REVISION
E

| Rev | Description | Date |
|-----|-------------------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE D F1A (x 3) |
| Internal: 134 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |



| | | |
|-------------------------|-------------------------|-------------------|
| Melbourne | Sydney | Brisbane |
| 4/135 | Ground Floor | Level 12, |
| Sturt Street Southbank, | 11-17 Buckingham Street | 324 Queen Street, |
| VIC 3006 | Surry Hills NSW 2010 | Brisbane Qld 4000 |
| T +61 3 9699 3644 | T +61 2 9660 9329 | T +61 7 3211 9821 |

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Torloff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figural dimensions shall take precedence over scaled work. Users shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE D (FACADE 01A)

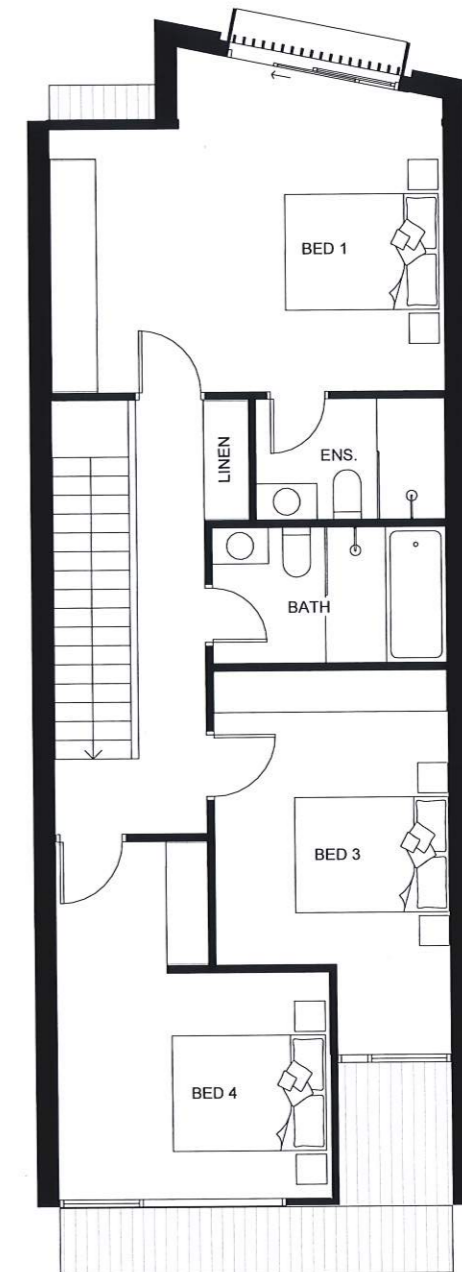
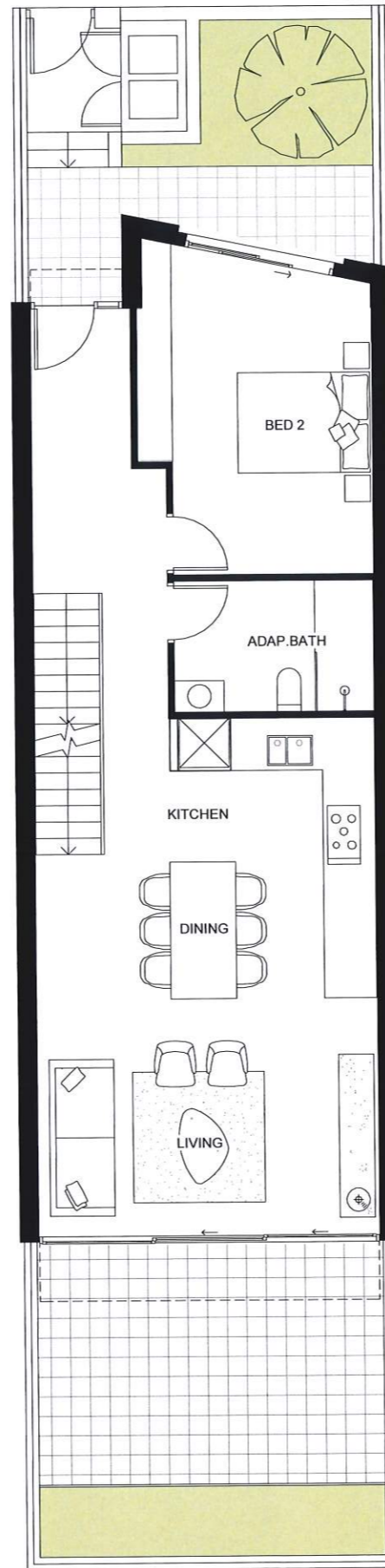
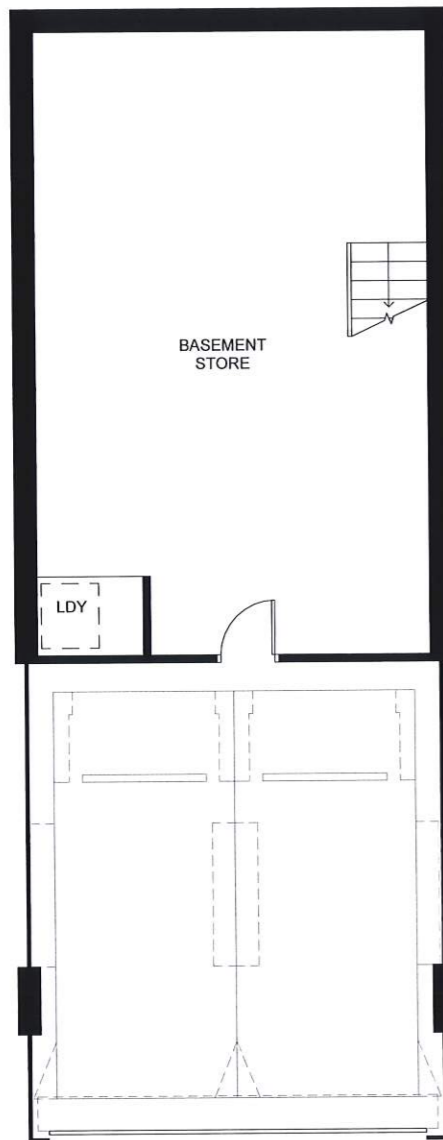
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DRAWING NUMBER
DA3.50

REVISION
F

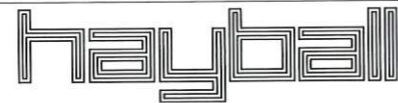
| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 17/07/2019 |
| D | FOR DA | 21/06/2019 |
| C | FOR DA | 19/06/2019 |
| B | DEVELOPMENT APPLICATION | 05/04/2019 |
| A | DA FOR REVIEW | 22/03/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE D F1B (x 2) |
| Internal: 134 m ² |
| Balcony: 3 m ² |
| Laundry: 15 m ² Nom (Varies) |

| Rev | Description | Date |
|-----|-------------------------|------------|
| H | FOR DA | 10/03/2020 |
| G | FOR DA | 17/07/2019 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne Sydney Brisbane
 4/135 4/135 4/135
 Sturt Street Southbank, 11-17 Buckingham Street, 324 Queen Street,
 VIC 3006 Surry Hills NSW 2010 Brisbane Qld 4000
 T +61 3 9599 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Toroff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job conditions. All stop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected stop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

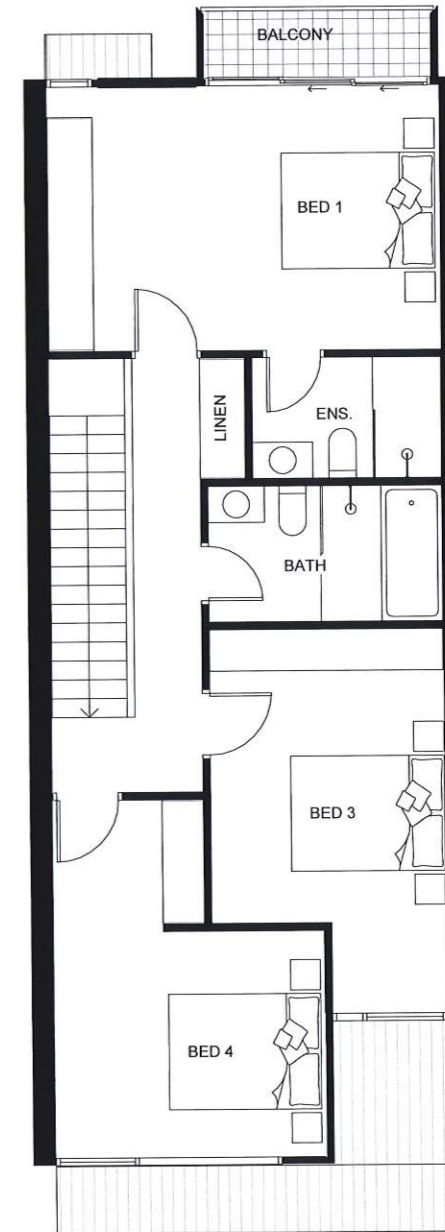
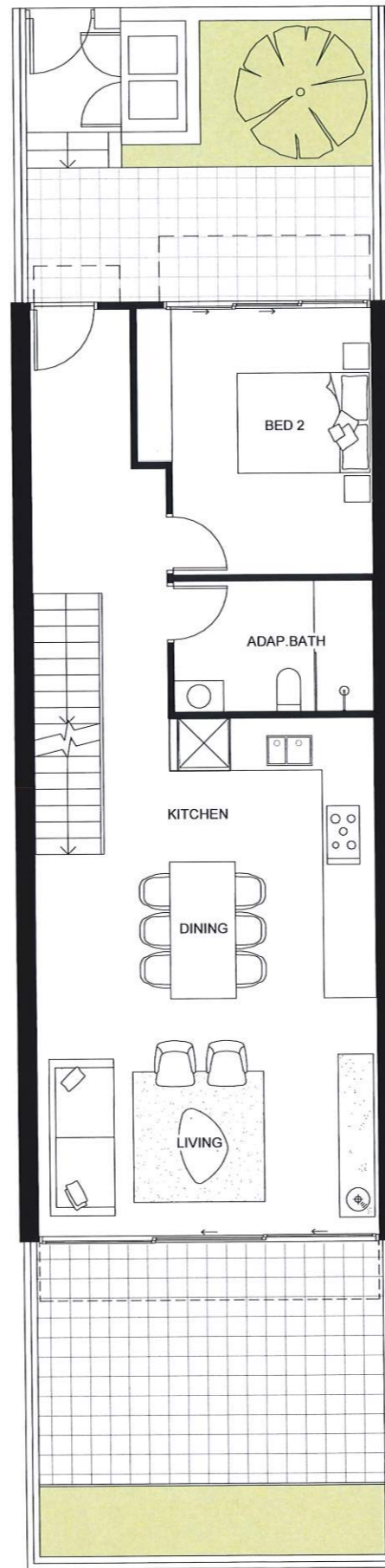
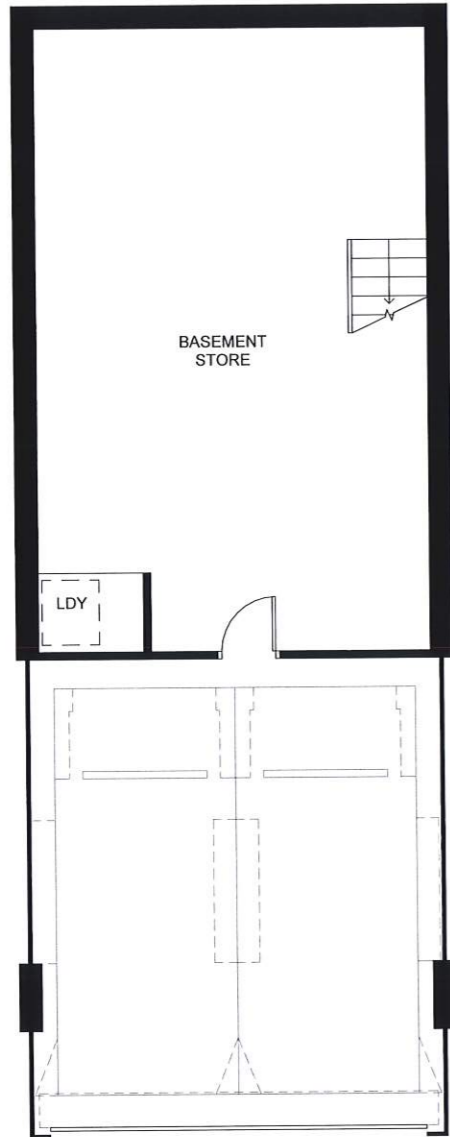
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 DATE PRINTED 11/03/2020 10:06:05 AM
 SCALE 1:50

DRAWING NUMBER
DA3.51

REVISION
H

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



| |
|---|
| TYPE D F3 (x 4) |
| Internal: 145 m ² |
| Balcony: 6 m ² |
| Laundry: 15 m ² Nom (Varies) |



| | | |
|--|--|--|
| Melbourne 4/135 Sturt Street Southbank, VIC 3205 T +61 3 9699 3644 | Sydney Ground Floor 11-17 Buckingham Street Sunny Hills NSW 2010 T +61 2 9660 9329 | Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821 |
|--|--|--|

ABN: 84005394261 NSW Nominated Architects Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028
Builder/Contractors shall verify job dimensions before any job commences. Figural dimensions shall take precedence over scaled work. Work shall also conform to the specifications, notes, drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of accepted shop drawings agreed by the Architect/Consultant. © Copyright 2008 All rights reserved.

CLIENT
PolyGlobal

PROJECT NAME
51 Terry Rd

PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW

PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE D (FACADE 03)

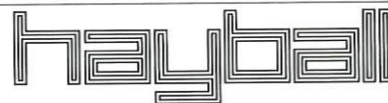
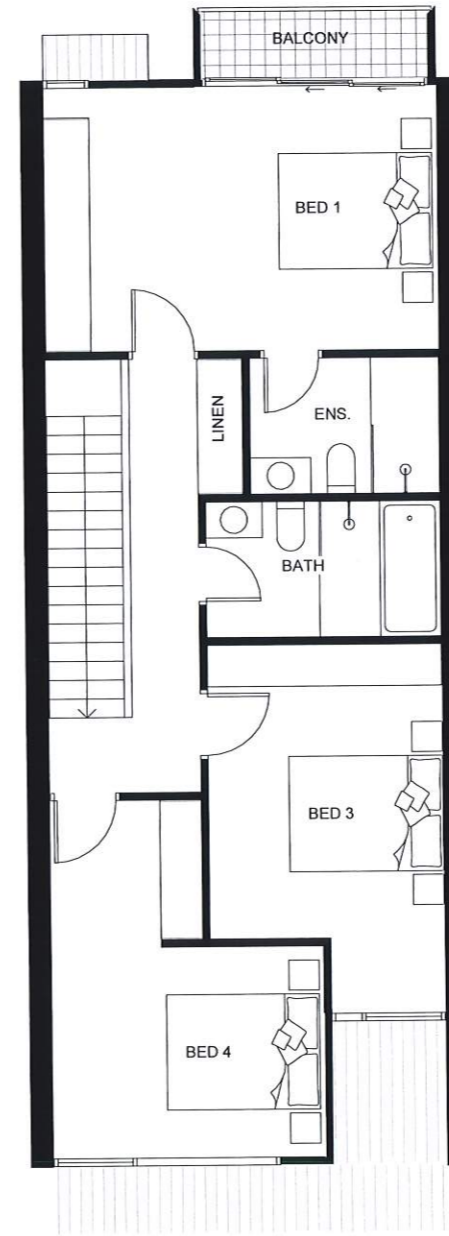
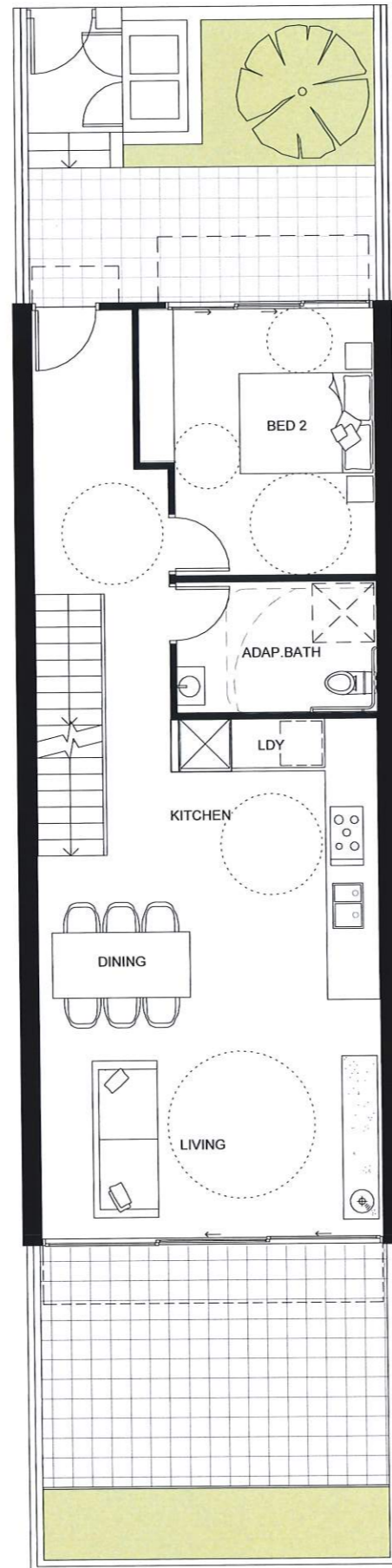
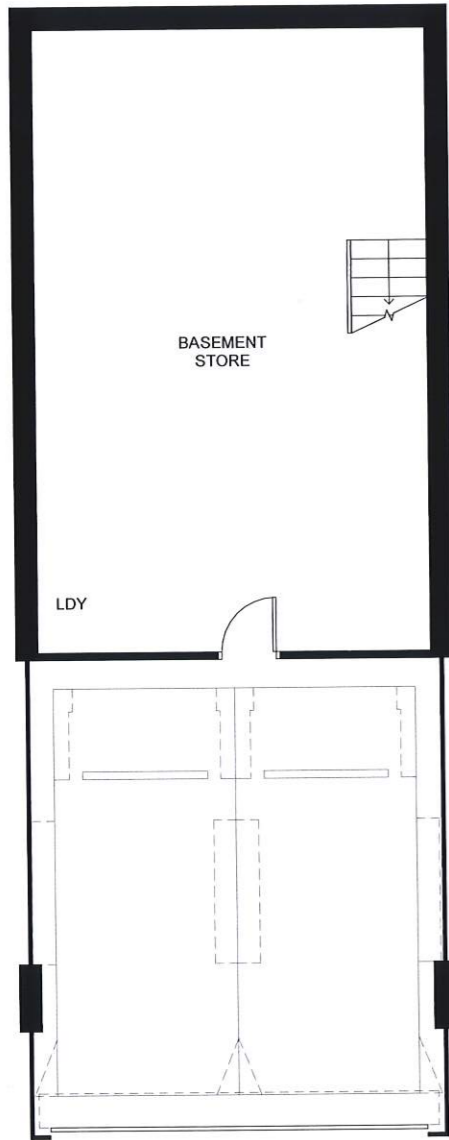
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SCALE 1 : 50

DRAWING NUMBER
DA3.52

REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 21/06/2019 |
| A | FOR DA | 19/06/2019 |

BASEMENT STORE SIZE AND STAIR CONFIGURATION VARIES



Melbourne Sydney Brisbane
 4/135 Ground Floor Level 12,
 Stuart Street Southbank, 11-17 Buckingham Street, 324 Queen Street,
 VIC 3006 Surry Hills NSW 2010 Brisbane Qld 4000
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521,
 Richard Leonard 7522, David Tordoff 8026
 Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take
 precedence over scaled work. Voids shall also conform to the specification, other drawings and 3D
 dimensions. All shop drawings shall be submitted to the Architects/Consultants and manufacture shall not
 commence prior to the return of inspected shop drawings signed by the Architects/Consultants. © Copyright
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CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

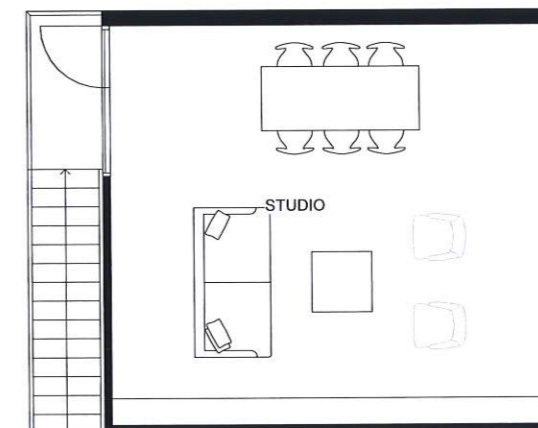
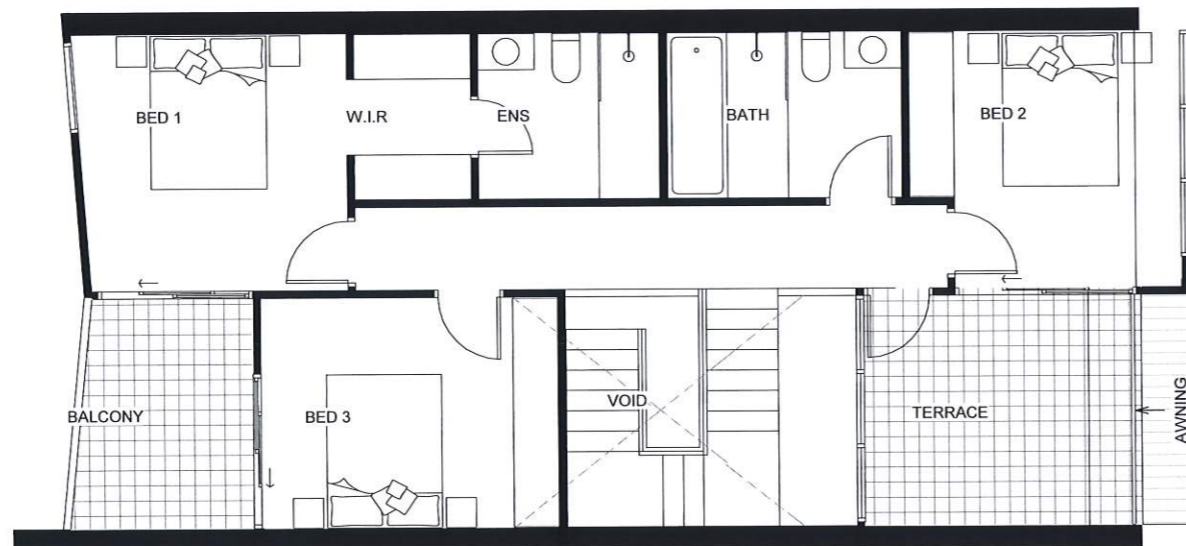
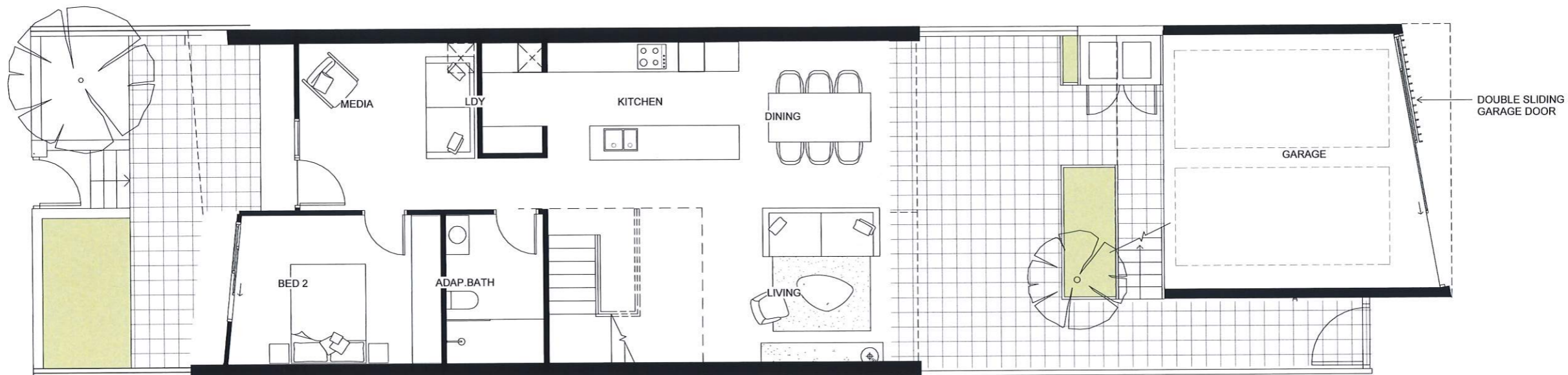
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 (FACADE 03)**

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 SCALE 1 : 50

DRAWING NUMBER
DA3.53

REVISION
G

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



| |
|------------------------------|
| TYPE E (x 12) |
| Internal: 150 m ² |
| Balcony: 18 m ² |
| Studio: 31 m ² |
| Garage: 27 m ² |

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 41135
 Sydney Ground Floor
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
 11-17 Buckingham Street, Sunny Hills NSW 2010
 T +61 3 9699 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Teirloff 8028
Builder/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2009. All rights reserved.

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PolyGlobal
 PROJECT NAME
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 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
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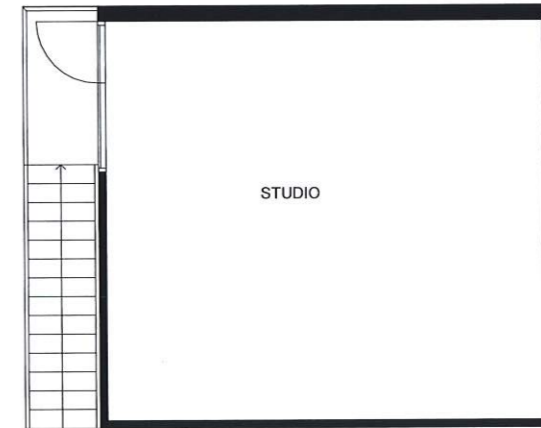
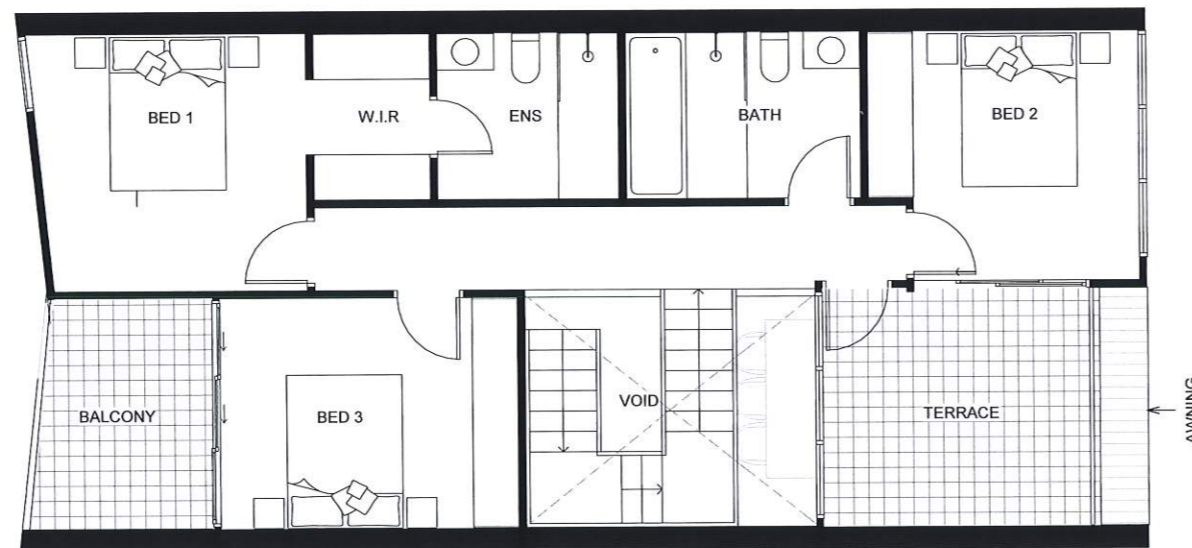
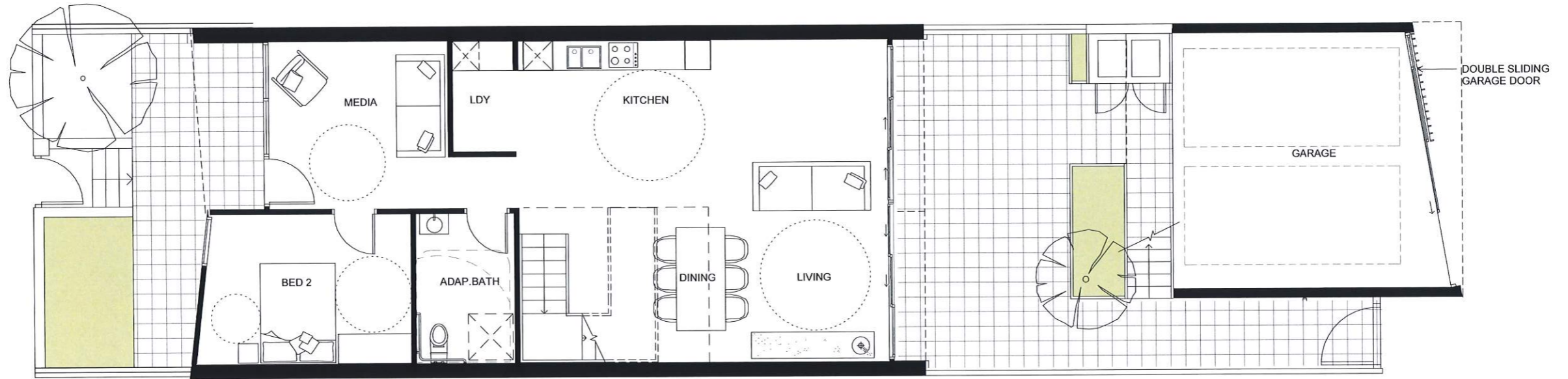
STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
TYPE E (FACADE 04)

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 CHECKED JS
 DATE PRINTED 11/03/2020 10:06:21 AM
 SCALE 1 : 50

DRAWING NUMBER
DA3.60

REVISION
G



| |
|------------------------------|
| TYPE E (x 12) |
| Internal: 150 m ² |
| Balcony: 18 m ² |
| Studio: 31 m ² |
| Garage: 27 m ² |

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | UPDATED MASTERPLAN | 13/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



Melbourne 4/135 Start Street Southbank, VIC 3006
 Sydney Ground Floor 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000
 T +61 3 9599 3644 T +61 2 9660 9329 T +61 7 3211 9821
 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Views shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

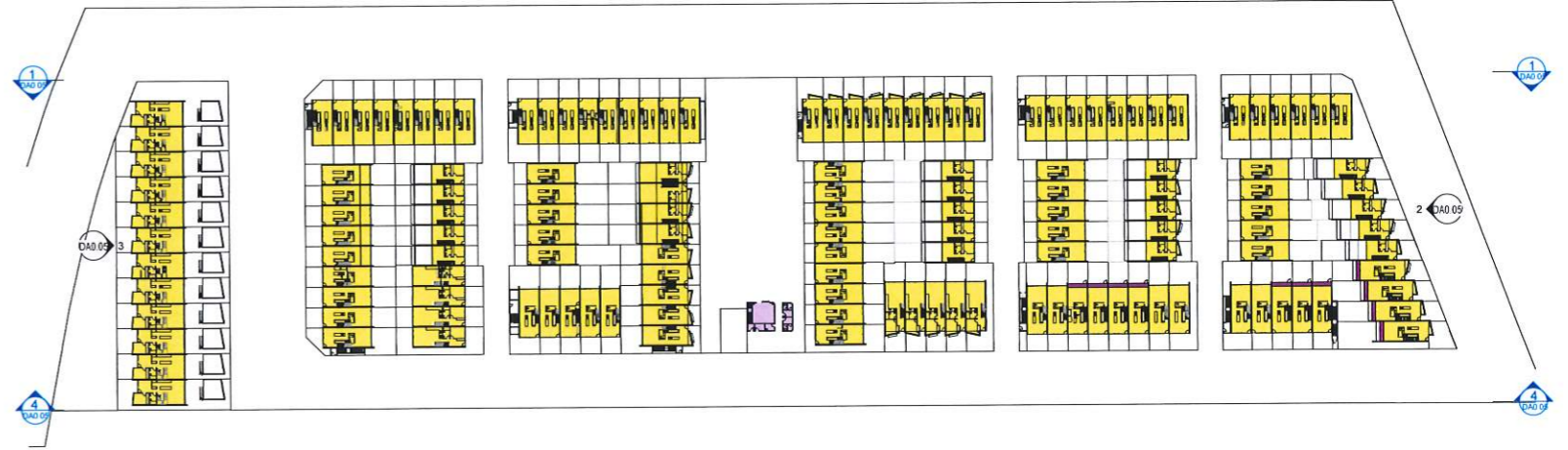
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TYPE E - POST ADAPTABLE (FACADE 04)

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 DATE PRINTED 11/03/2020 10:06:26 AM
 SCALE 1 : 50

DRAWING NUMBER
DA3.61

REVISION
G

| GFA AREA | |
|--|------------------------|
| Name | Area |
| BALCONY | |
| GROUND - BALCONY | 60.5 m ² |
| LEVEL 1 - BALCONY | 571.8 m ² |
| LEVEL 2 - BALCONY | 574.0 m ² |
| | 1206.3 m ² |
| BASEMENT / PLANT | |
| BASEMENT - including garage, excluding Ldy / Store | 11628.9 m ² |
| | 11628.9 m ² |
| GFA | |
| BASEMENT - Ldy / Store, excluding garage + circulation | 5684.6 m ² |
| GROUND | 9923.2 m ² |
| LEVEL 1 | 9090.8 m ² |
| LEVEL 2 | 858.2 m ² |
| LOWER GROUND | 1884.5 m ² |
| PUBLIC AMENITY | 75.1 m ² |
| | 27516.3 m ² |



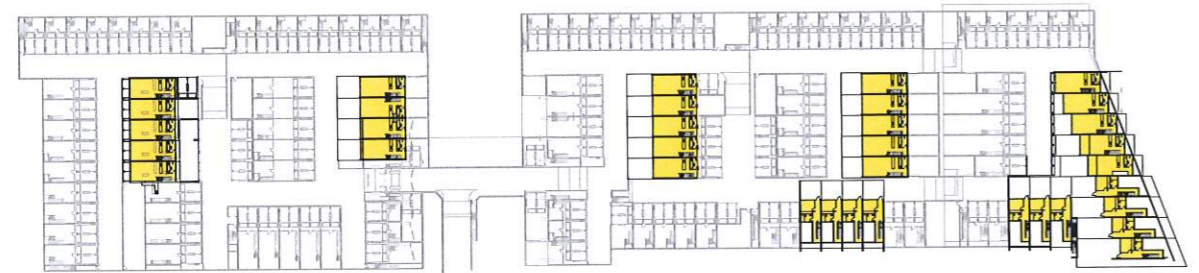
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DA1.07 1:1000



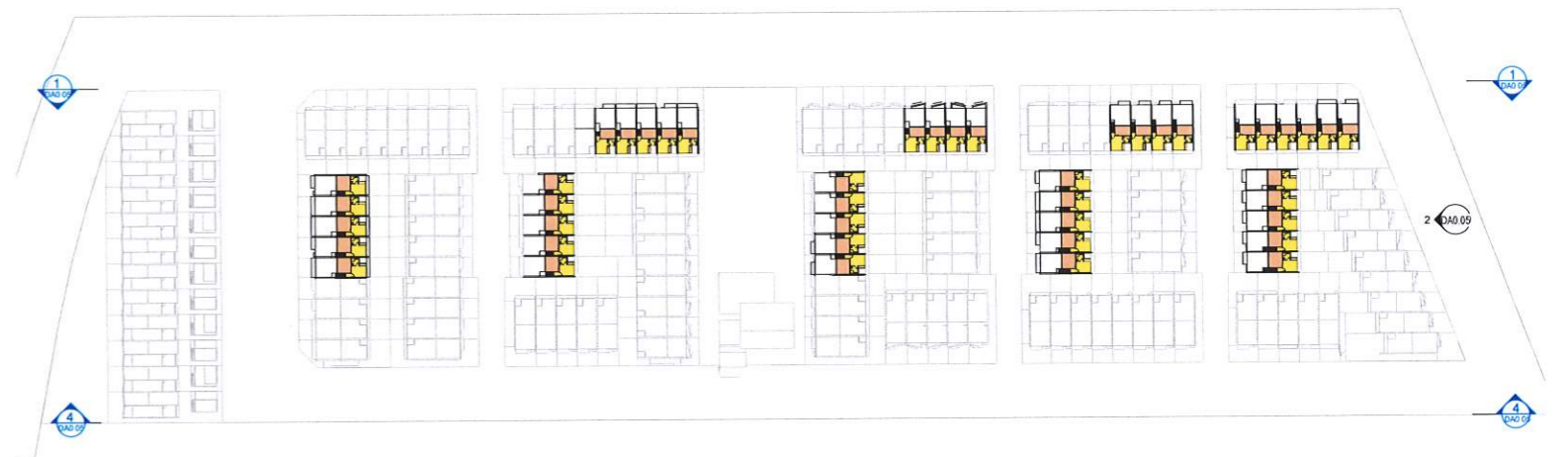
3 GFA CALCULATION - BASEMENT
DA1.07 1:1000



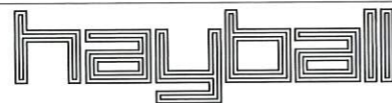
1 GFA CALCULATION - LEVEL 1
DA1.07 1:1000



7 GFA CALCULATION - LOWER GROUND
DA1.07 1:1000



2 GFA CALCULATION - LEVEL 2
DA1.07 1:1000



Melbourne Sydney Brisbane
4/135 Ground Floor Level 12,
Start Street Southbank, 11-17 Buckingham Street, 324 Queen Street,
VIC 3006, Sunny Hills NSW 2010 Brisbane Qld 4000
T +61 3 9599 3644 T +61 2 9660 9329 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521,
Richard Leonard 7522, David Tordoff 8028
Builder/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take
precedence over scaled work. Work shall conform to the specifications, other drawings and job
dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not
commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright
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CLIENT
PolyGlobal
PROJECT NAME
51 Terry Rd
PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
GFA CALCULATIONS

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DATE PRINTED 11/03/2020 10:07:23 AM
SCALE 1:1000

DRAWING NUMBER
DA4.00



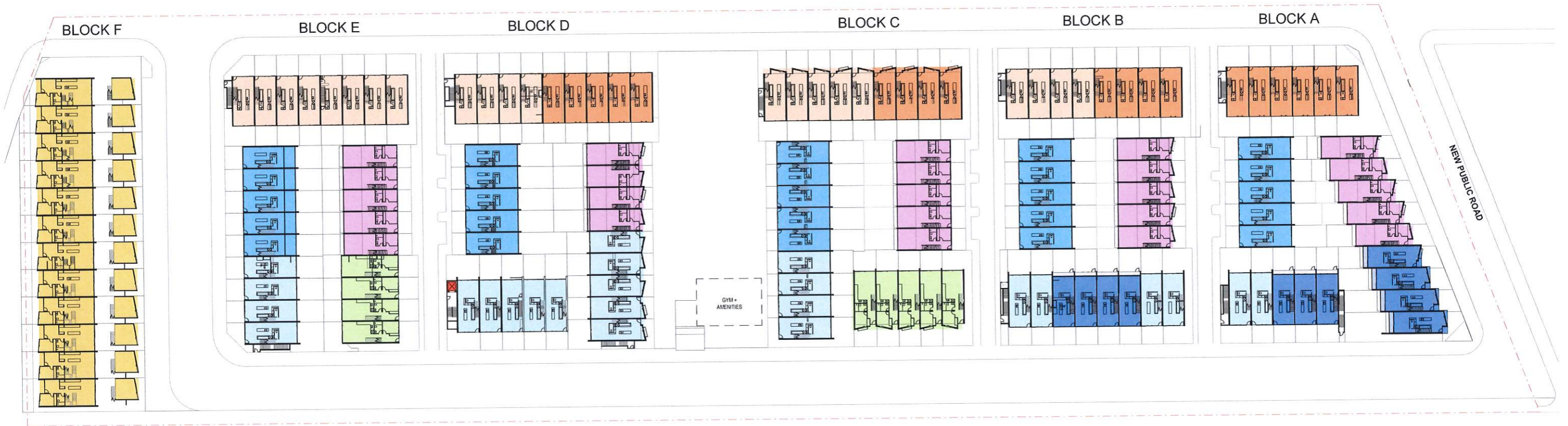
REVISION
G

| Rev | Description | Date |
|-----|-------------------------|------------|
| G | FOR DA | 10/03/2020 |
| F | FOR DA | 21/06/2019 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |

TOWN HOUSE TYPE LEGEND

| | | | | | |
|----------------------|------------|------------|-----------|----------|-----------|
| 3 BED TOTAL : 45 | 21 TYPE A1 | 24 TYPE B1 | | | |
| 4 BED TOTAL : 100 | 19 TYPE A2 | 25 TYPE B2 | 24 TYPE C | 9 TYPE D | 12 TYPE E |
| | | 11 TYPE B3 | | | |

TOTAL : 145



BLOCK F

| | | |
|-------|---|----|
| 4 BED | E | 12 |
|-------|---|----|

BLOCK E

| | TYPE | QTY |
|-------|------|-----|
| 3 BED | A1 | 8 |
| | B1 | 4 |
| 4 BED | A2 | |
| | B2 | 5 |
| | B3 | |
| | C | 5 |
| | D | 4 |

BLOCK D

| | TYPE | QTY |
|-------|------|-----|
| 3 BED | A1 | 4 |
| | B1 | 10 |
| 4 BED | A2 | 5 |
| | B2 | 5 |
| | B3 | |
| | C | 4 |
| | D | |

BLOCK C

| | TYPE | QTY |
|-------|------|-----|
| 3 BED | A1 | 5 |
| | B1 | 4 |
| 4 BED | A2 | 4 |
| | B2 | 5 |
| | B3 | |
| | C | 5 |
| | D | 5 |

BLOCK B

| | TYPE | QTY |
|-------|------|-----|
| 3 BED | A1 | 4 |
| | B1 | 4 |
| 4 BED | A2 | 4 |
| | B2 | 5 |
| | B3 | 4 |
| | C | 5 |
| | D | |

BLOCK A

| | TYPE | QTY |
|-------|------|-----|
| 3 BED | A1 | |
| | B1 | 2 |
| 4 BED | A2 | 6 |
| | B2 | 5 |
| | B3 | 7 |
| | C | 5 |
| | D | |

OFF STREET PARKING

| | | |
|---------|----|--|
| BLOCK F | 24 | |
|---------|----|--|

BASEMENT PARKING

| | RESIDENTIAL VISITOR | |
|---------|---------------------|----|
| BLOCK A | 50 | 6 |
| BLOCK B | 52 | 10 |
| BLOCK C | 56 | 6 |
| BLOCK D | 56 | 7 |
| BLOCK E | 52 | |

| | | |
|-------|-----|----|
| TOTAL | 266 | 29 |
|-------|-----|----|



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 Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

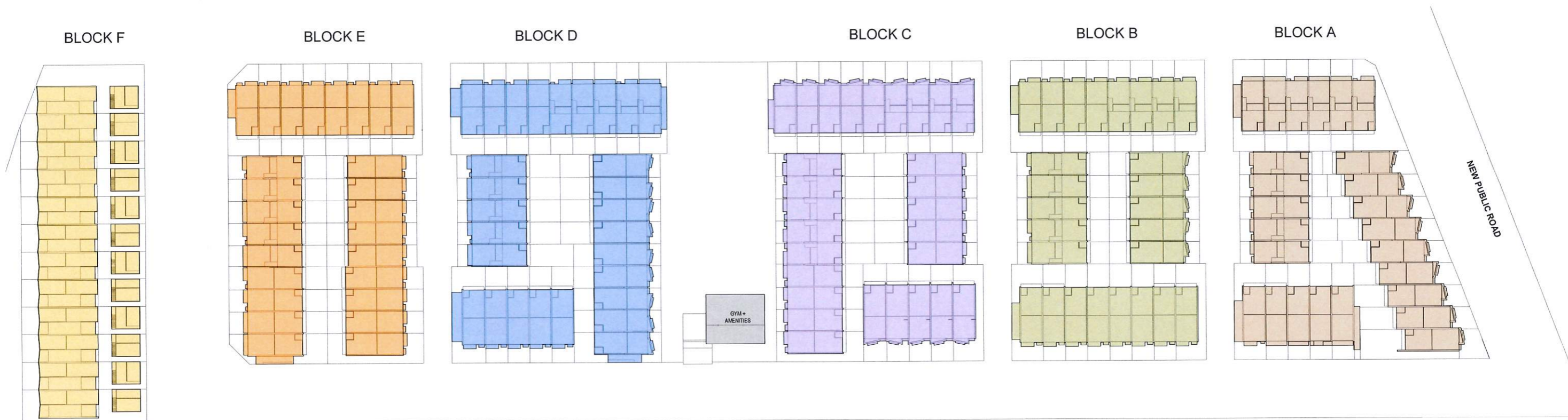
CLIENT
PolyGlobal
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51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

DRAWING TITLE
DWELLING & PARKING CALCULATIONS
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 SCALE 1 : 500
 STATUS
DEVELOPMENT APPLICATION

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DA4.01



REVISION
E



| LOCATION | COVERAGE (M2) |
|----------------------|---------------|
| BLOCK A | 2020 |
| BLOCK B | 2056 |
| BLOCK C | 2168 |
| BLOCK D | 2258 |
| BLOCK E | 2074 |
| BLOCK F | 1668 |
| GYM + AMENITIES | 178 |
| TOTAL | 12422 |
| SITE AREA | 24941 |
| SITE COVERAGE | 49.8% |



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CLIENT
PolyGlobal
 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

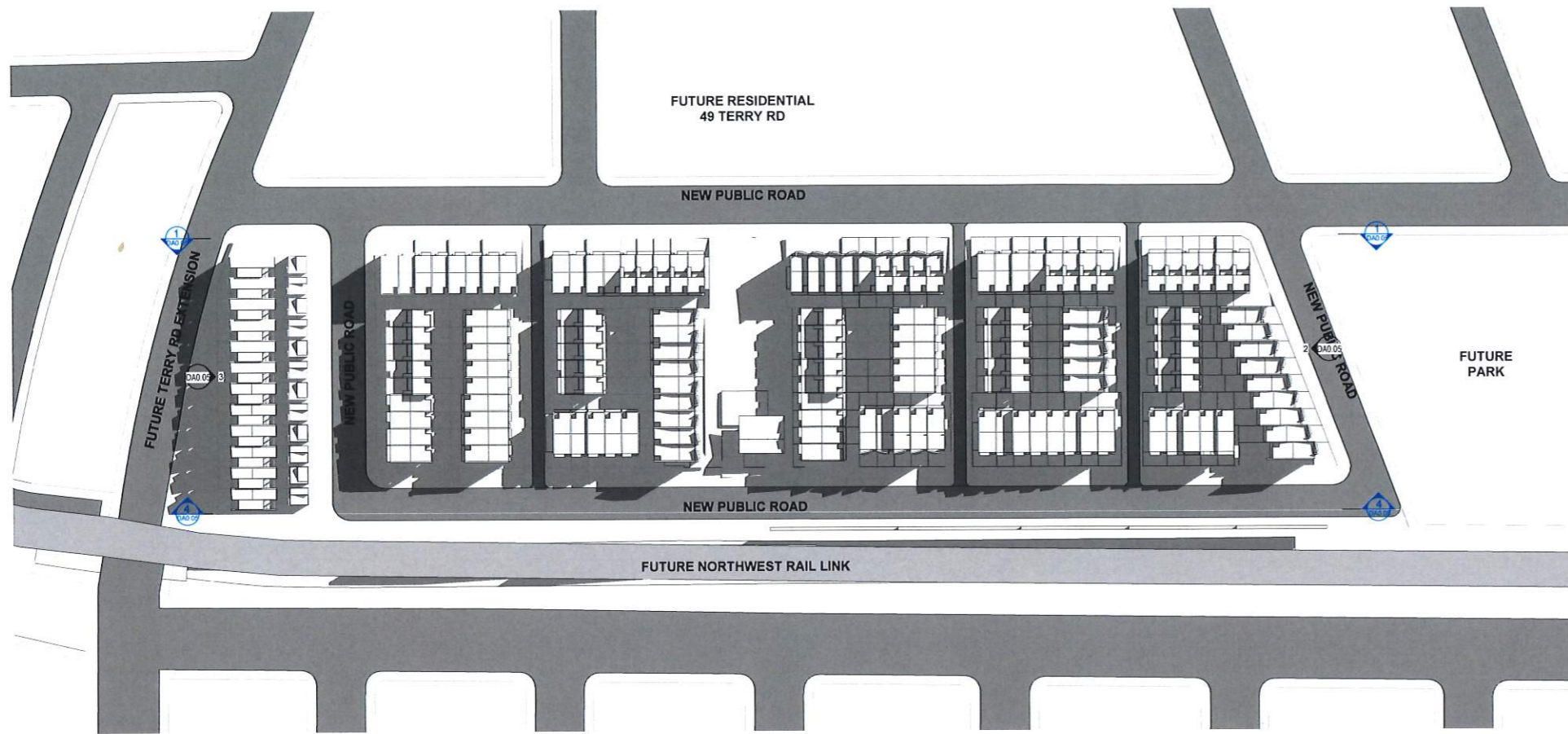
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SITE COVERAGE CALCULATION

DRAWN BY TB
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 DATE PRINTED 11/03/2020 10:07:50 AM
 SCALE 1 : 500

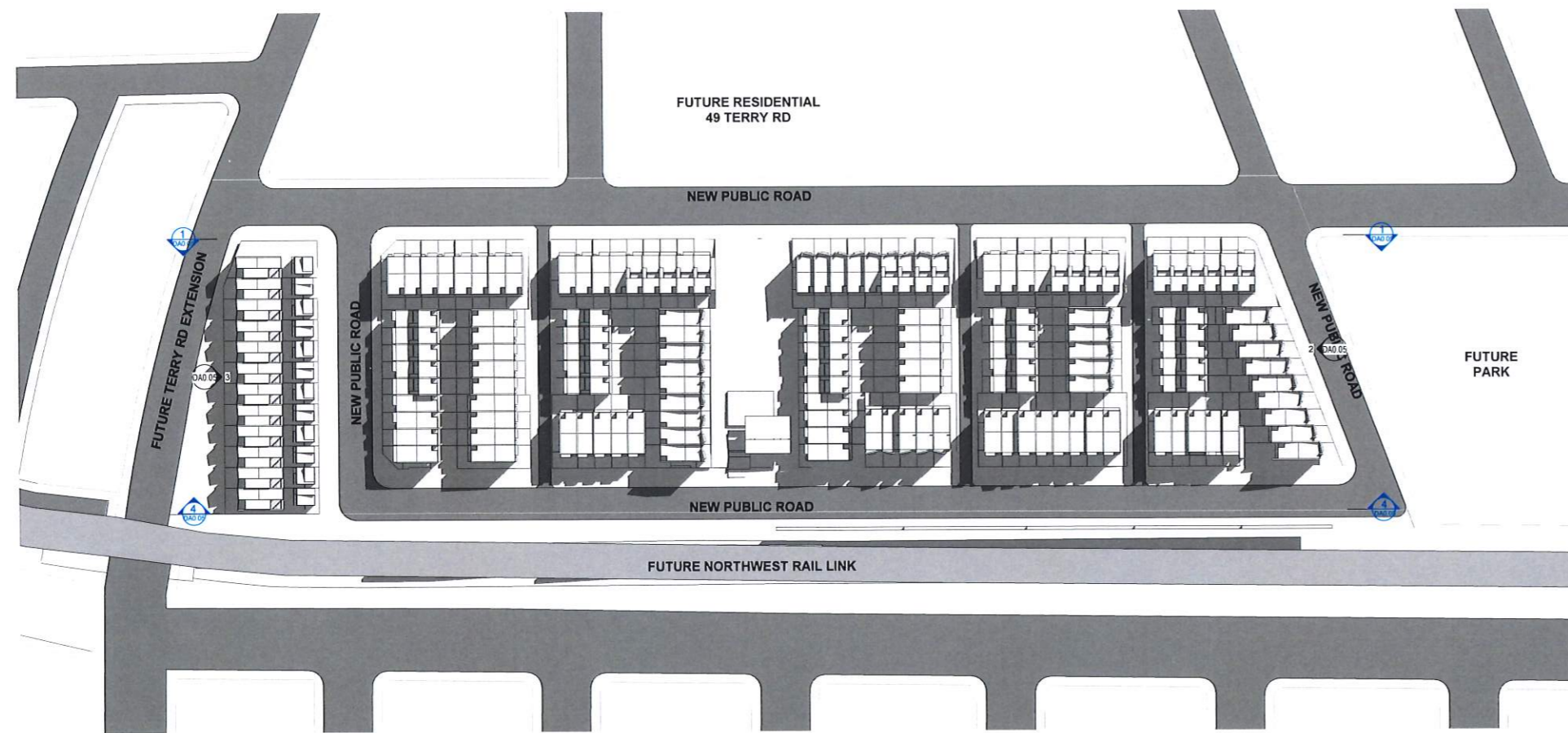
DRAWING NUMBER
DA4.10



REVISION
A



1 SHADOW DIAGRAM - 9am
1 : 1000



2 SHADOW DIAGRAM - 10am
1 : 1000

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/05/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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 Brisbane Level 12, 324 Queen Street, Brisbane QLD 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

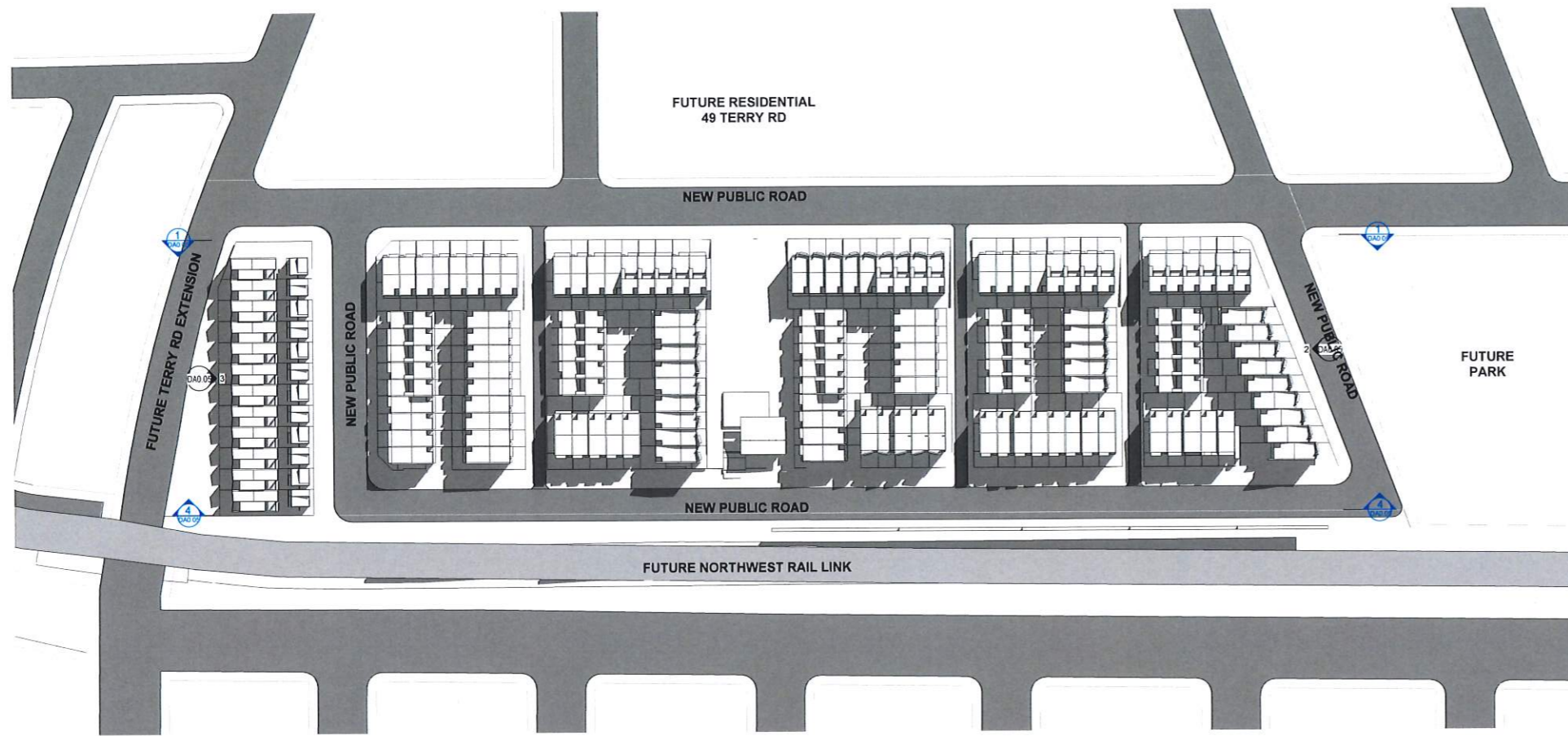
Drawing Title
SHADOW DIAGRAMS

Status
PRELIMINARY ISSUE

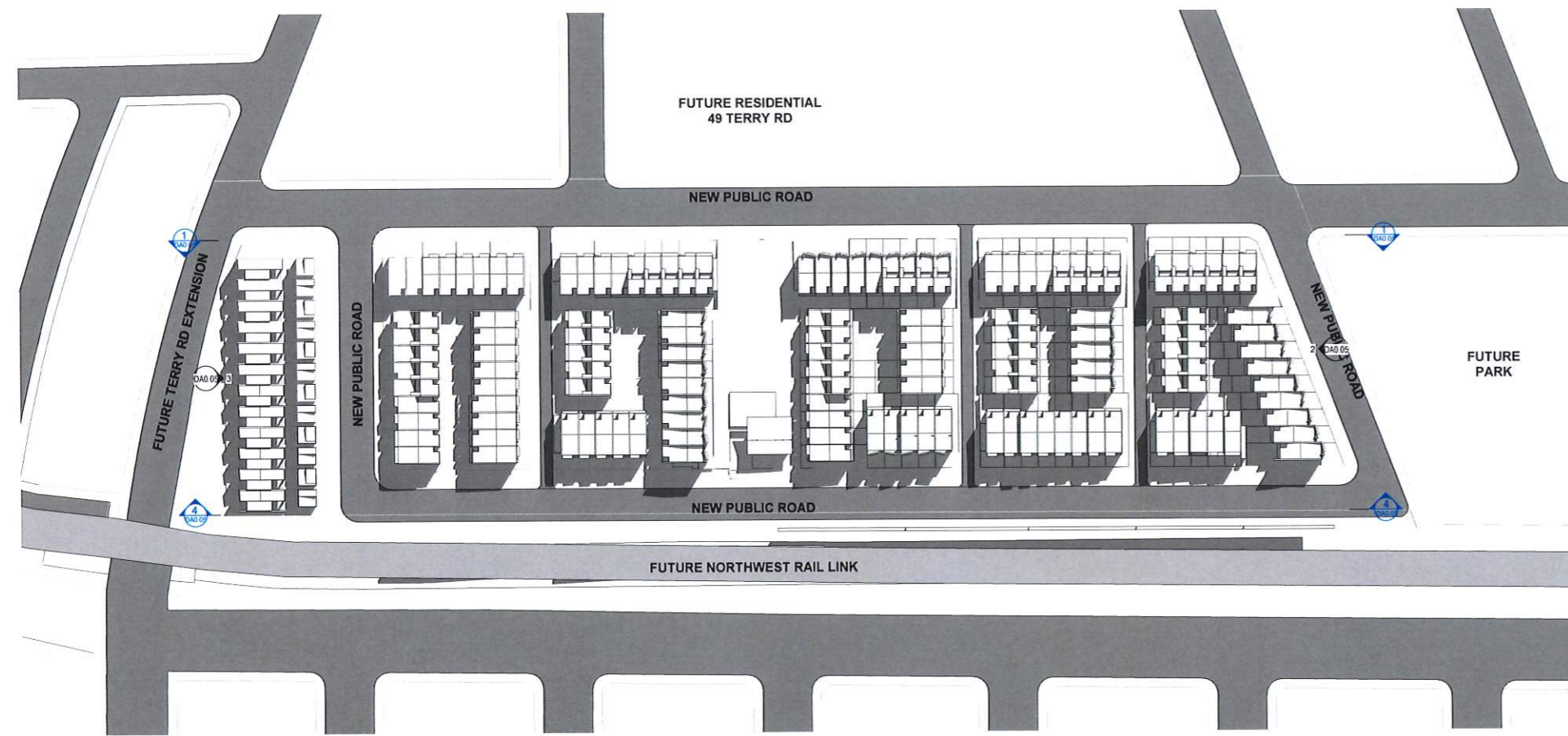
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|----------|------------|---------------------------|----------|
| TB | JS | 11/03/2020 10 08 10 AM | 1 : 1000 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA5.00 | F |

Builder/Contractors shall verify all dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



1 SHADOW DIAGRAM - 10.30am
1:1000



2 SHADOW DIAGRAM - 11am
1:1000

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

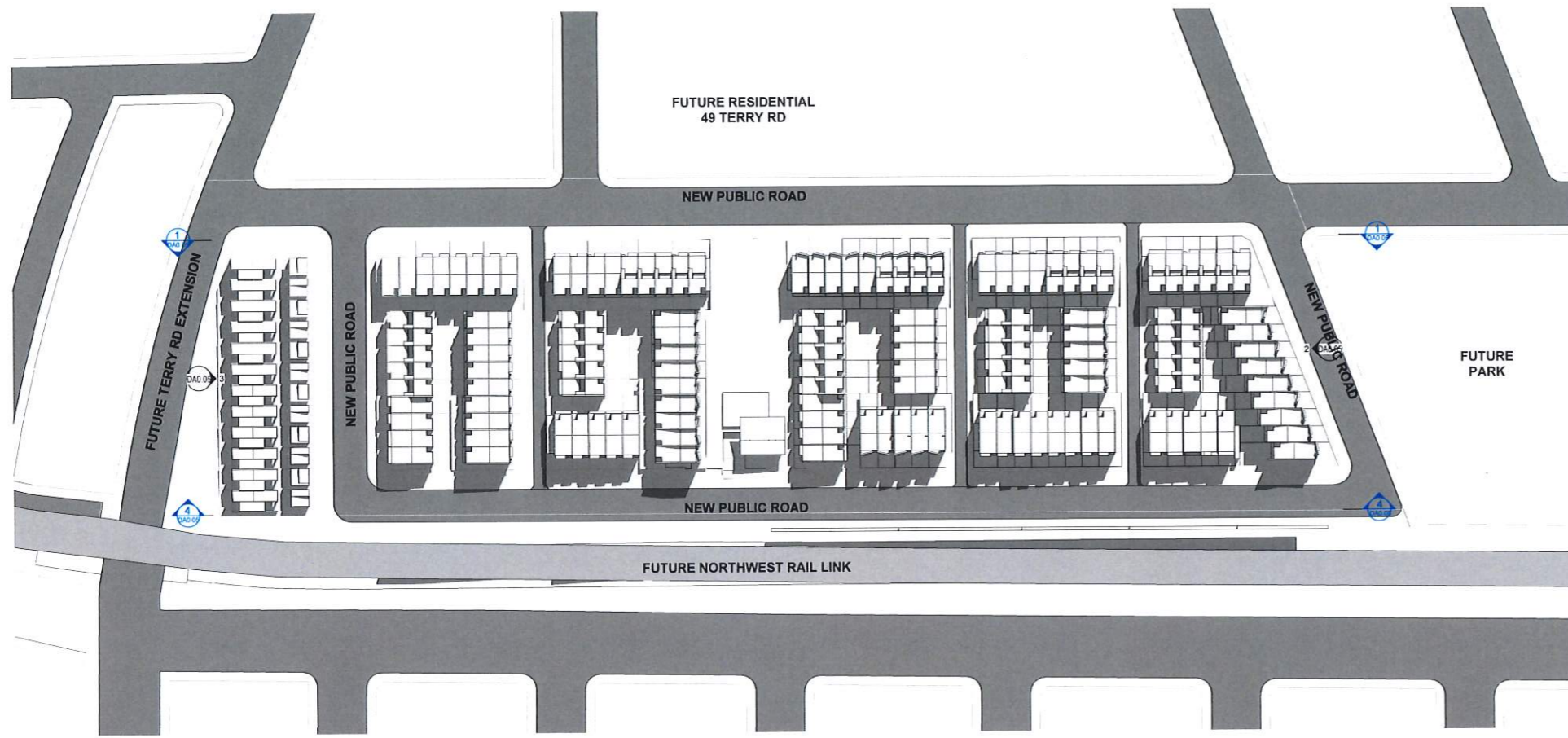
Drawing Title
SHADOW DIAGRAMS

Status
PRELIMINARY ISSUE

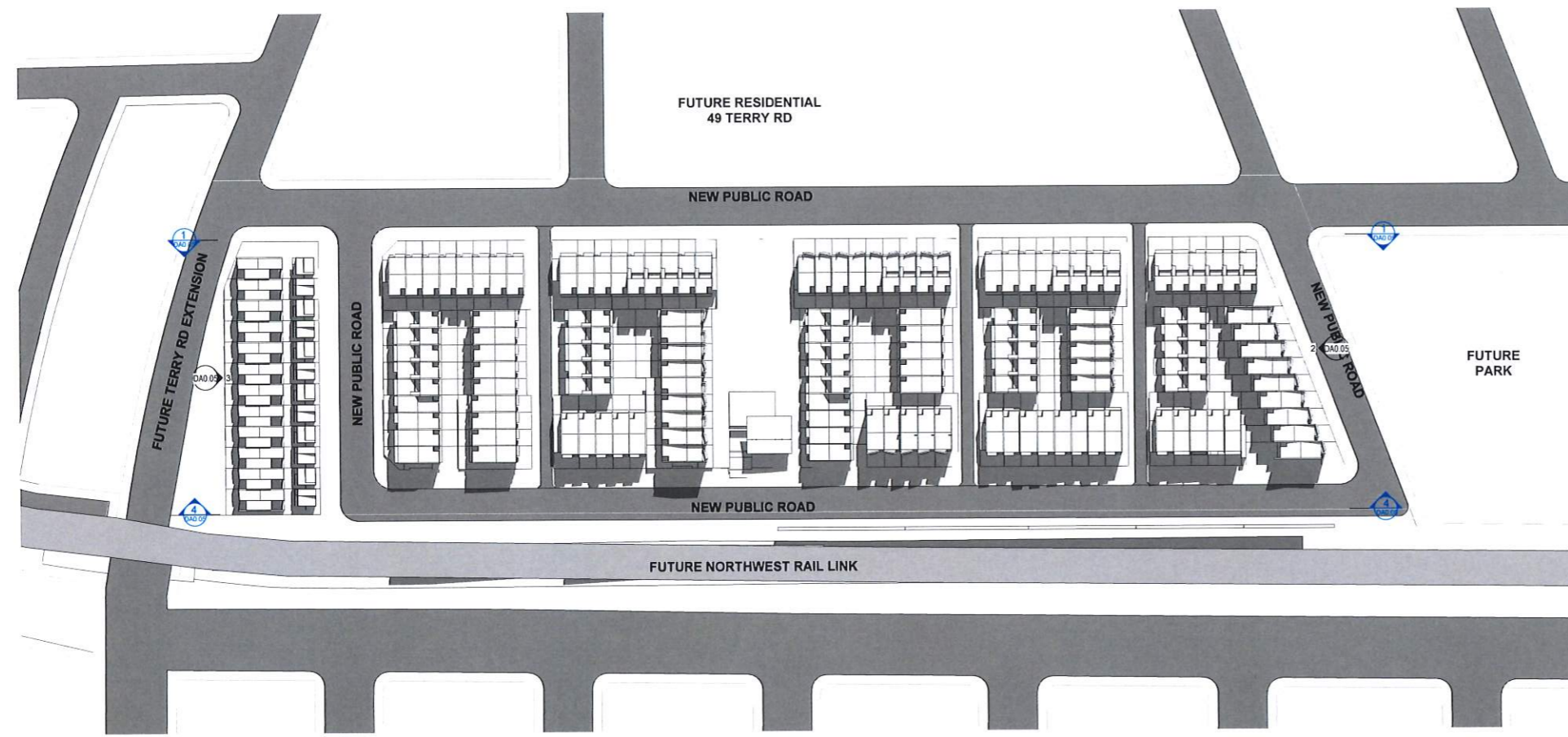
| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|--------|
| TB | JS | 11/03/2020 10:08:32 AM | 1:1000 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA5.01 | F |

Builder/Contractors shall verify all dimensions before any job commences. Figural dimensions shall be a precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008. All rights reserved.

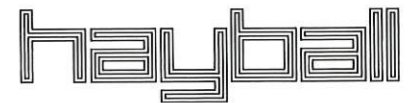


1 SHADOW DIAGRAM - 11.30am
1:1000



2 SHADOW DIAGRAM - 12pm
1:1000

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 6028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

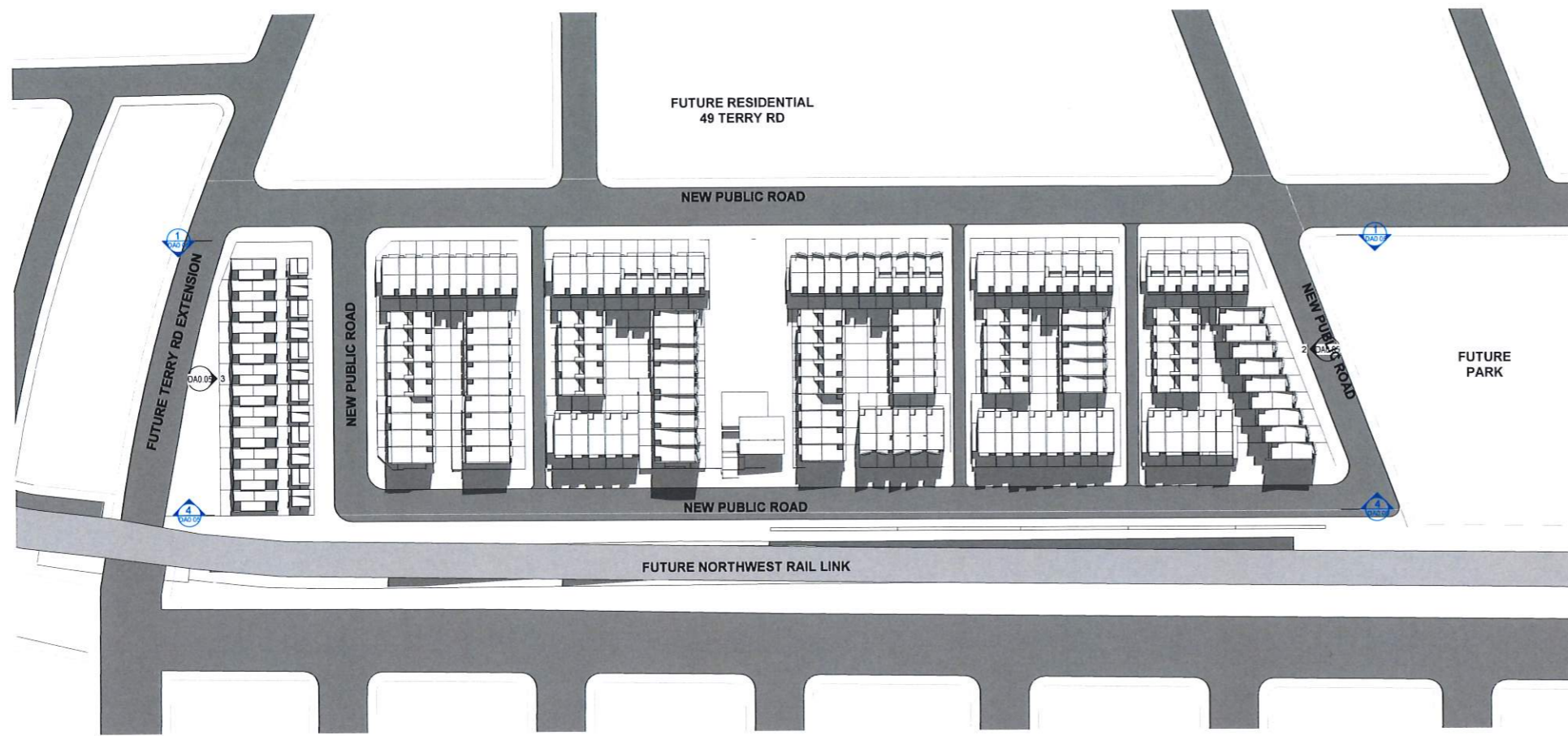
Drawing Title
SHADOW DIAGRAMS

Status
PRELIMINARY ISSUE

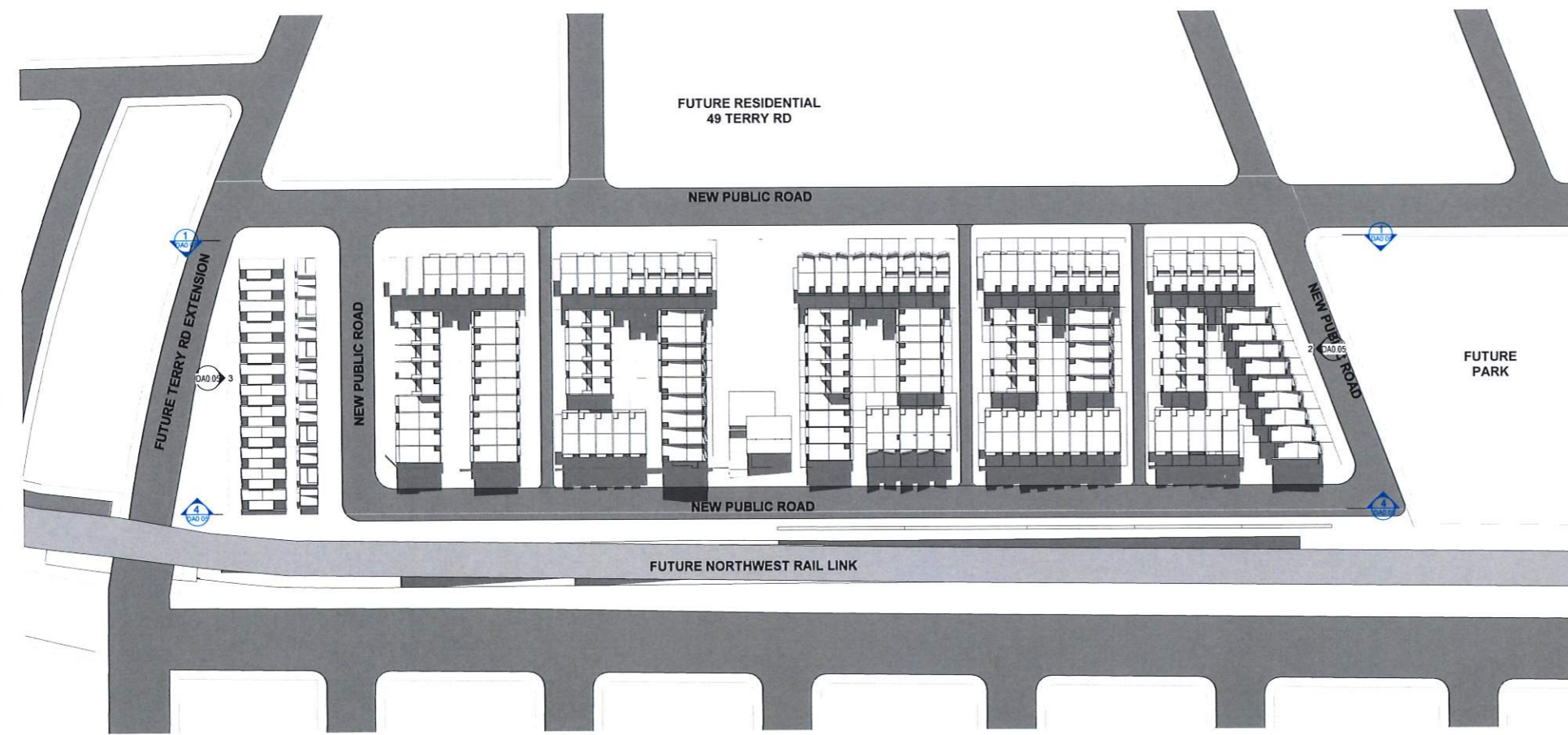
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| TB | JS | 11/03/2020 10:08:54 AM | 1:1000 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA5.02 | F |

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1 SHADOW DIAGRAM - 12.30pm



2 SHADOW DIAGRAM - 1pm

| Rev | Description | Date |
|-----|-------------------------|------------|
| F | FOR DA | 10/03/2020 |
| E | FOR DA | 19/06/2019 |
| D | DEVELOPMENT APPLICATION | 05/04/2019 |
| C | DA FOR REVIEW | 22/03/2019 |
| B | DA FOR REVIEW | 15/03/2019 |
| A | DA FOR REVIEW | 30/07/2018 |



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ABN 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

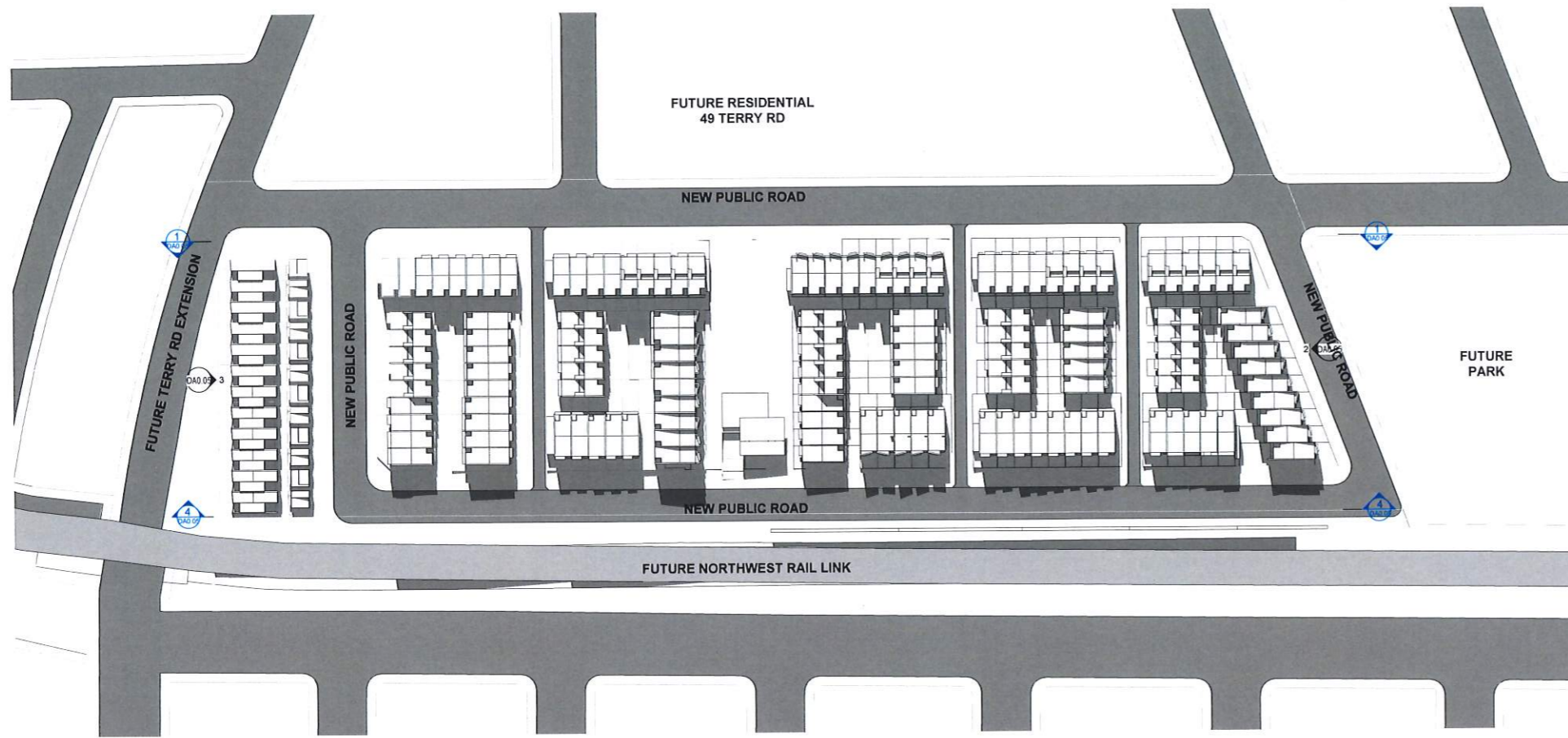
Drawing Title
SHADOW DIAGRAMS

Status
PRELIMINARY ISSUE

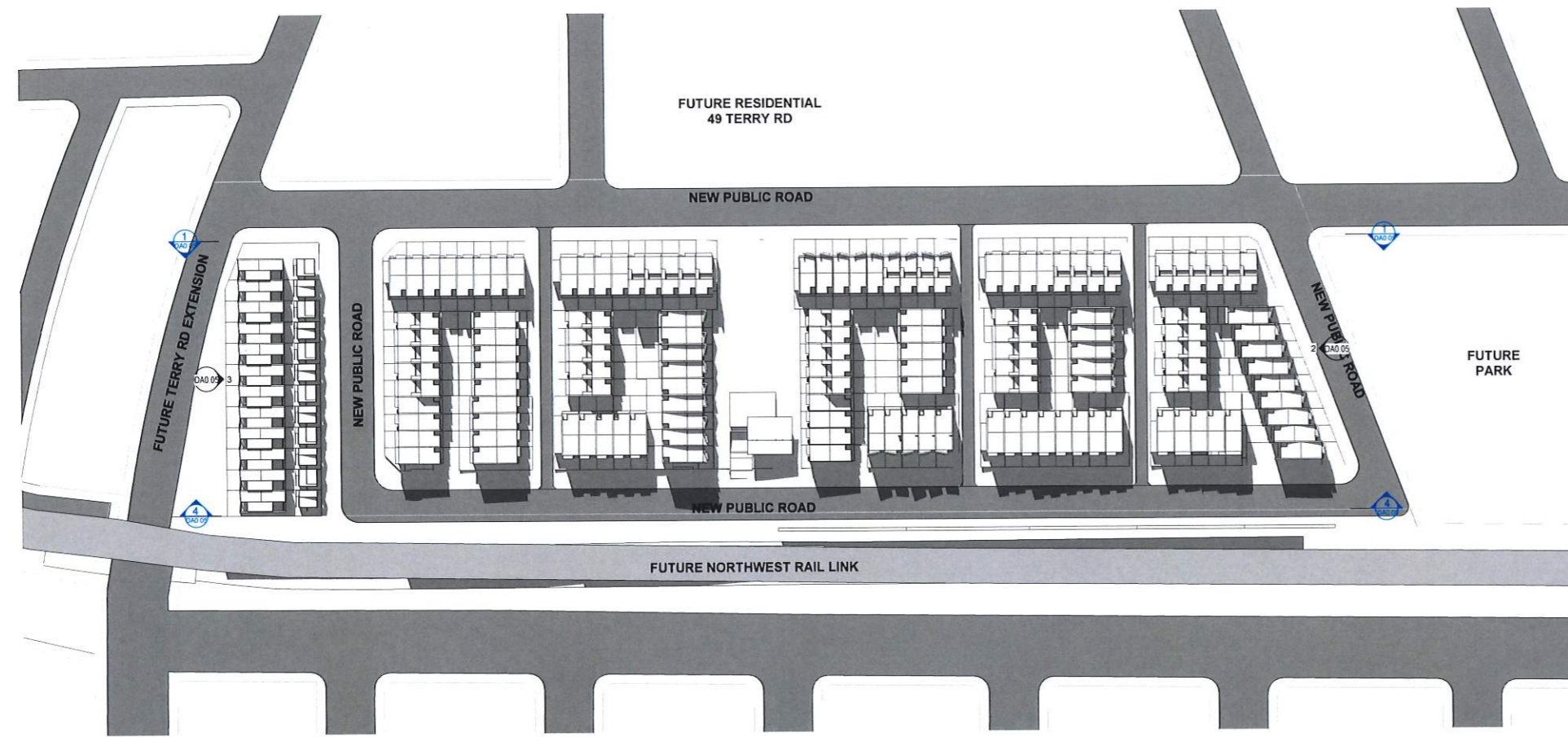
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| TB | JS | 11/03/2020 10:09:15 AM | 1 : 1000 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA5.03 | F |

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2020 All rights reserved.



1 SHADOW DIAGRAM - 1.30pm
1:1000



2 SHADOW DIAGRAM - 2pm
1:1000

| Rev | Description | Date |
|-----|-------------|------------|
| A | FOR DA | 10/03/2020 |



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 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000 T +61 7 3211 9821

ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
51 Terry Rd

Project Address
51 Terry Rd, Rouse Hill NSW

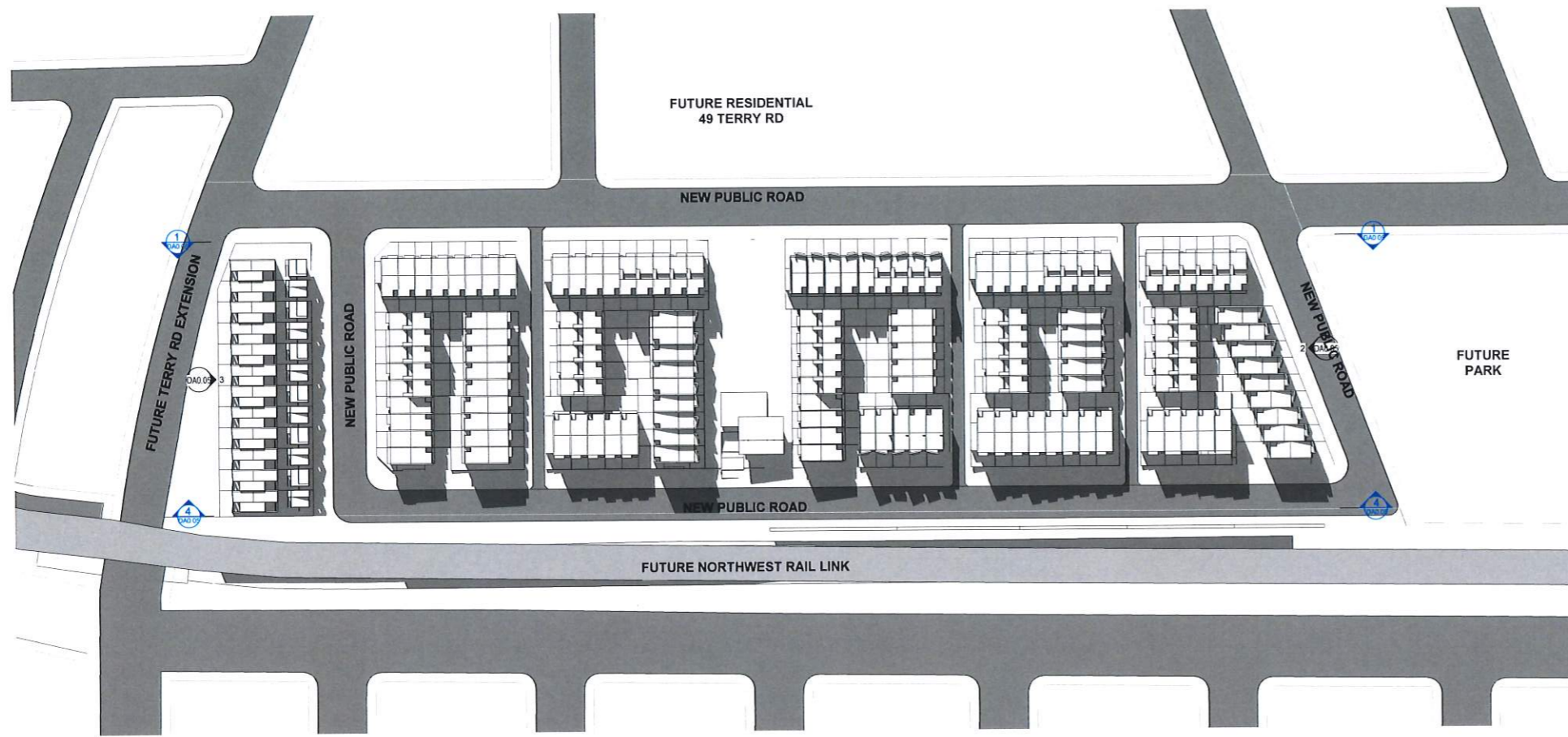
Drawing Title
SHADOW DIAGRAMS

Status
PRELIMINARY ISSUE

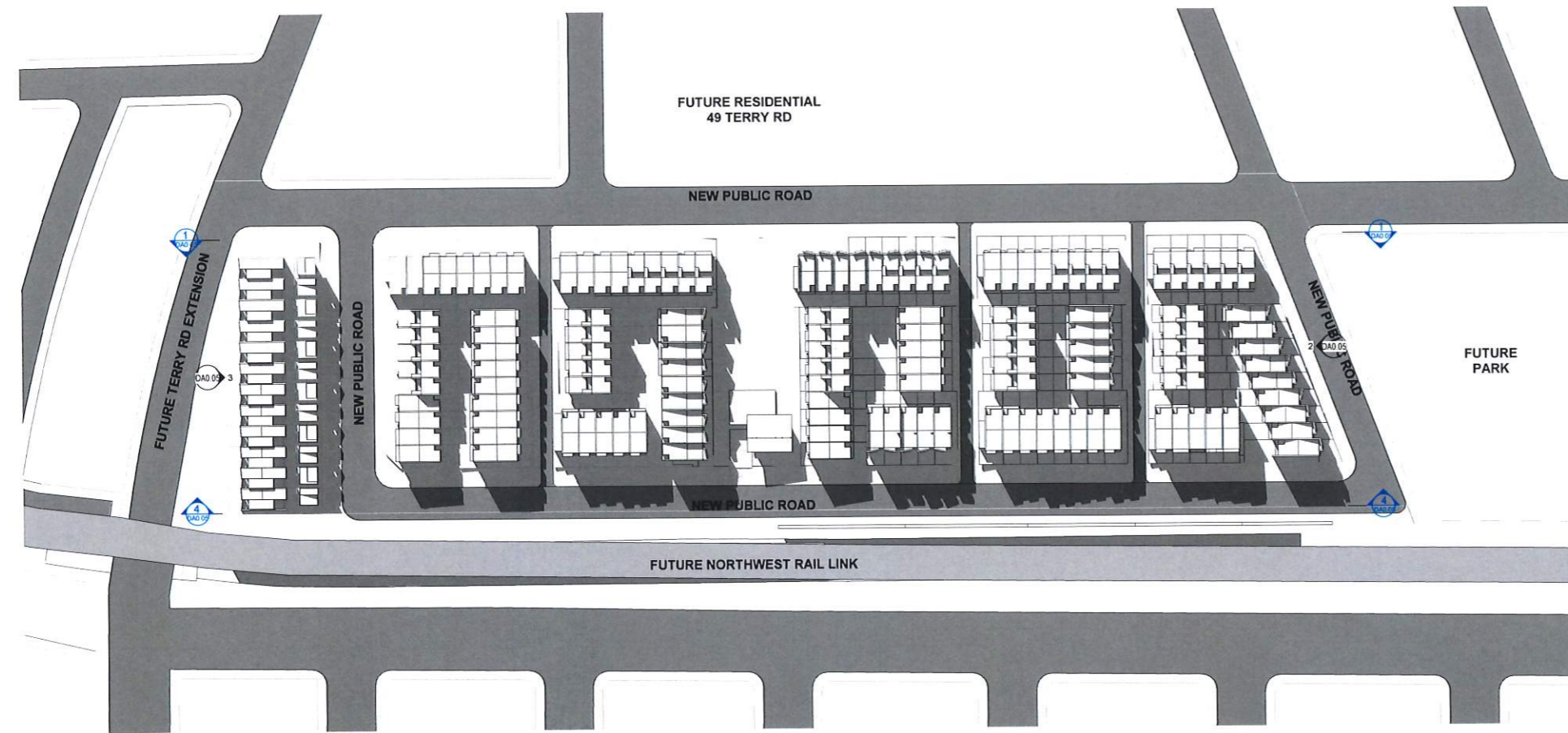
| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|----------|
| Author | Checker | 11/03/2020 10 09 37 AM | 1 : 1000 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA5.04 | A |

Buyers/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specifications, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



1 SHADOW DIAGRAM - 2.30pm
1:1000



2 SHADOW DIAGRAM - 3pm
1:1000

| Rev | Description | Date |
|-----|-------------|------------|
| A | FOR DA | 10/03/2020 |



Melbourne 4/135 Sturt Street Southbank, VIC 3005
 Sydney Ground Floor, 11-17 Buckingham Street, Surry Hills NSW 2010
 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000

ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028

Project Title
 51 Terry Rd

Project Address
 51 Terry Rd, Rouse Hill NSW

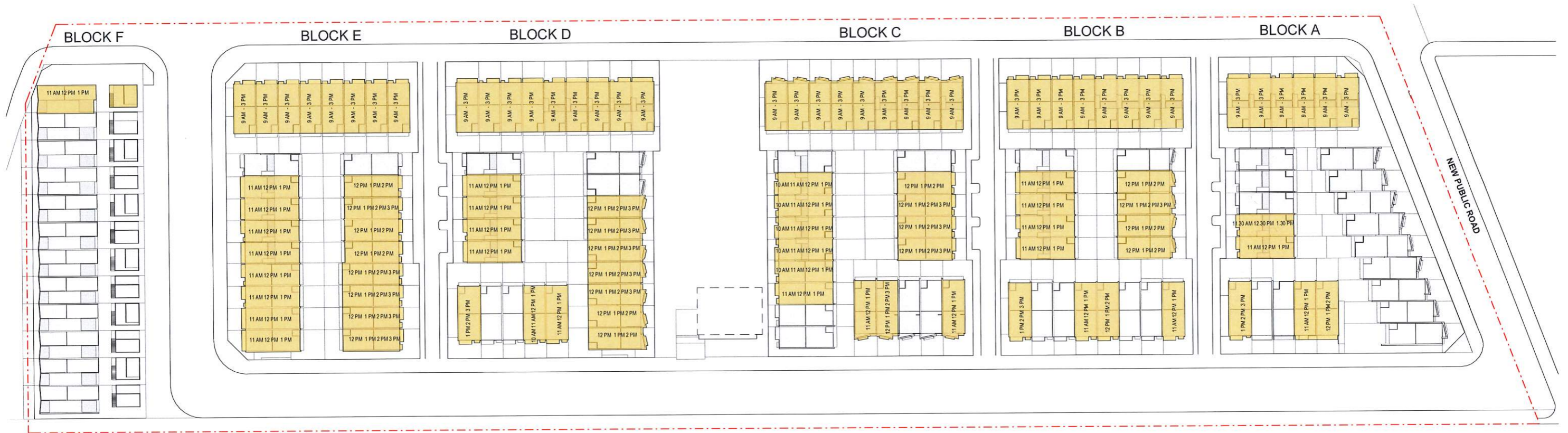
Drawing Title
 SHADOW DIAGRAMS

Status
 PRELIMINARY ISSUE

| Drawn By | Checked By | Date Printed | Scale |
|----------|------------|---------------------------|--------|
| Author | Checker | 11/03/2020 10:10:01 AM | 1:1000 |

| Project No | Drawing No | Revision |
|------------|------------|----------|
| 2281 | DA5.05 | A |

Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall be in accordance with the specification. Work shall also conform to the specification, where drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.



| DWELLING LOCATION | PPOS SOLAR ACCESS COMPLIANCE | |
|-------------------|------------------------------|------------|
| | YES | NO |
| BLOCK A | 11 | 14 |
| BLOCK B | 20 | 6 |
| BLOCK C | 22 | 6 |
| BLOCK D | 23 | 5 |
| BLOCK E | 24 | 2 |
| BLOCK F | 1 | 11 |
| TOTAL | 101 | 44 |
| PERCENTAGE | 70% | 30% |



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 ABN: 84006394261 NSW Nominated Architects: Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacturer shall not commence prior to the return of inspected shop drawings to verify the Architect/Consultant. © Copyright 2008. All rights reserved.

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51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
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STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PPOS SOLAR COMPLIANCE

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DRAWING NUMBER
DA5.10



REVISION
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FACADE TYPE F1a + F1b



FACADE TYPE F2a + F2b



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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figured dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008 All rights reserved.

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
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STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PERSPECTIVES - FACADE TYPES

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 DATE PRINTED 11/03/2020 10:10:17 AM
 SCALE

DRAWING NUMBER
DA6.01

REVISION
E

| Rev | Description | Date |
|-----|---------------|------------|
| E | FOR DA | 10/03/2020 |
| D | FOR DA | 17/07/2019 |
| C | FOR DA | 26/06/2019 |
| B | FOR DA | 19/06/2019 |
| A | DA FOR REVIEW | 30/07/2018 |

FACADE TYPE F3



FACADE TYPE F4



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 Brisbane Level 12, 324 Queen Street, Brisbane Qld 4000
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 ABN: 84006394261 NSW Nominated Architects Tom Jordan 7521, Richard Leonard 7522, David Tordoff 8028
 Builders/Contractors shall verify job dimensions before any job commences. Figure dimensions shall take precedence over scaled work. Work shall also conform to the specification, other drawings and job descriptions. All shop drawings shall be submitted to the Architect/Consultant and manufacture shall not commence prior to the return of inspected shop drawings signed by the Architect/Consultant. © Copyright 2008, 2013, 2018 Hayball

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 PROJECT NAME
51 Terry Rd
 PROJECT ADDRESS
51 Terry Rd, Rouse Hill NSW
 PROJECT NUMBER
2281

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
PERSPECTIVES - FACADE TYPES

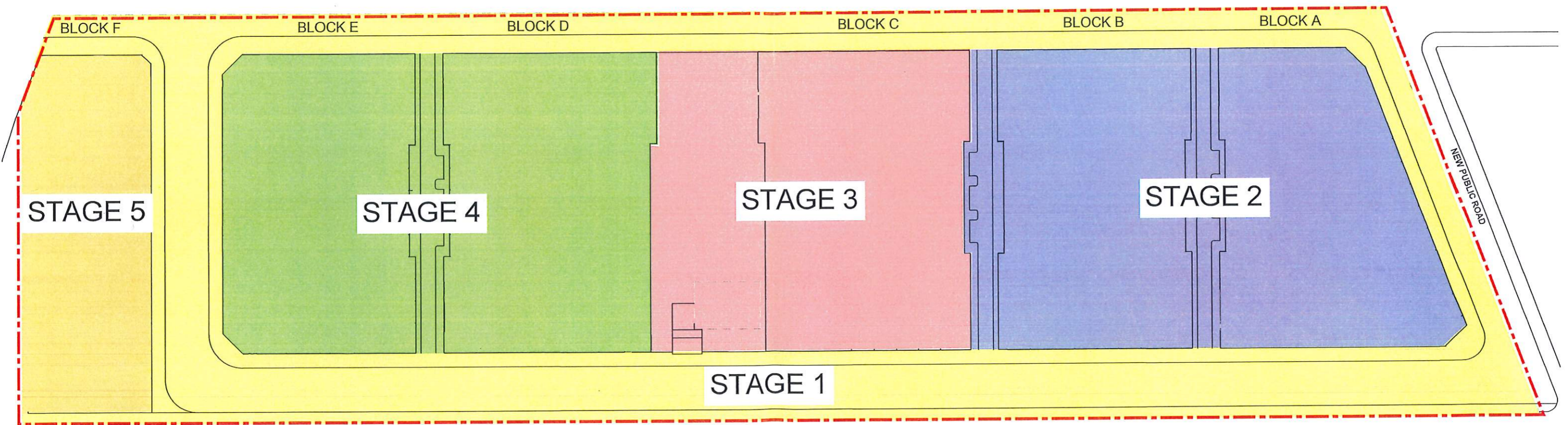
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 DATE PRINTED 11/03/2020 10:10:21 AM
 SCALE

DRAWING NUMBER
DA6.02



REVISION
C

| Rev | Description | Date |
|-----|-------------|------------|
| C | FOR DA | 10/03/2020 |
| B | FOR DA | 17/07/2019 |
| A | FOR DA | 19/06/2019 |

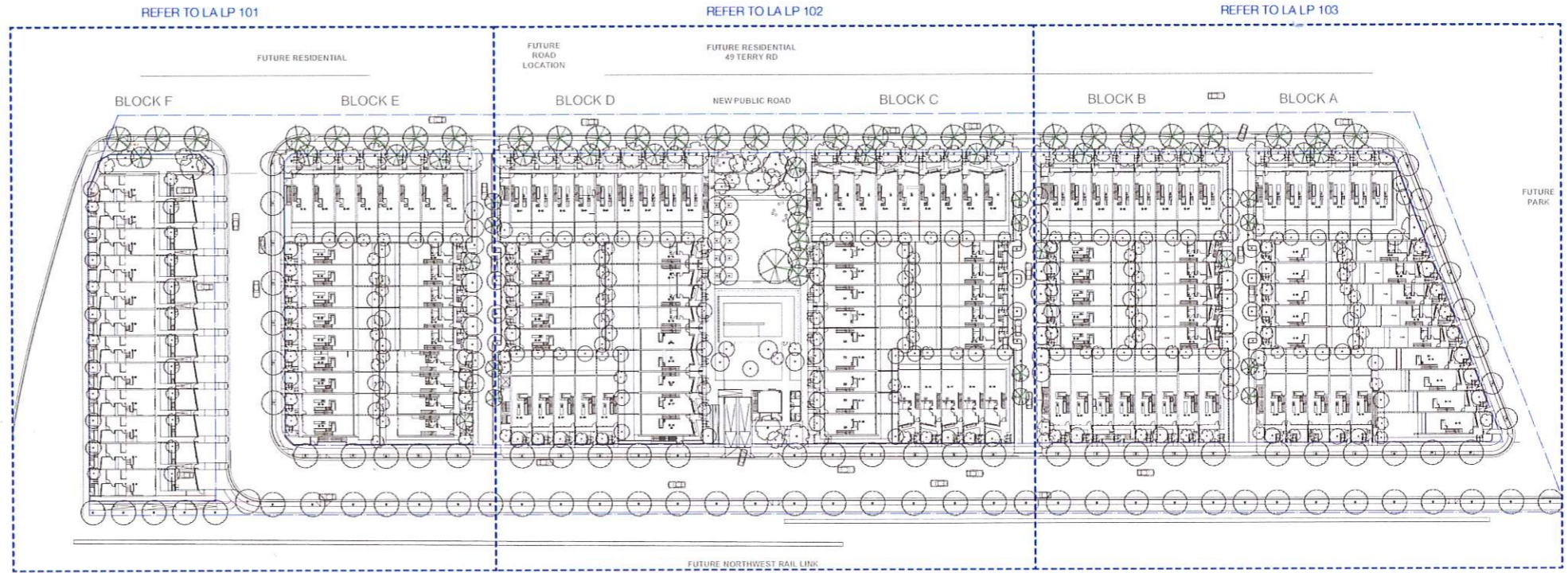


STAGING DIAGRAM

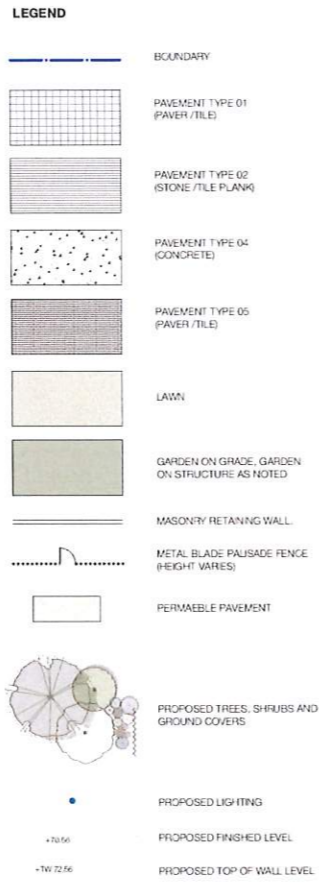
REVISION 1 - 22/04/20
51 TERRY ROAD, ROUSE HILL

PLANT SCHEDULE

| BOTANICAL NAME | COMMON NAME | HEIGHT | POT SIZE | PLANT DENSITIES |
|---|--------------------------------|--------|----------|------------------|
| TREES | | | | |
| <i>Anagapora costata</i> | Smooth Barked Apple | 15M | 100L | as shown |
| <i>Brachycton acerifolius</i> | Ilawarra Flame Tree | 15M | 100 | as shown |
| <i>Buckinghamia celsissima</i> | Ivory Curl Flower | 4M | 75L | as shown |
| <i>Conyba ficifolia</i> | Flowering Gum | 10M | 75L | as shown |
| <i>Conyba maculata</i> | Spotted Gum | 20M | 100L | as shown |
| <i>Eucalyptus amplifolia</i> | Cabbage Gum | 30M | 200L | as shown |
| <i>Harpulia pendula</i> | Tulipwood | 10M | 100L | as shown |
| <i>Laportea indica 'Natchez'</i> | Natchez Crepe Myrtle | 5M | 100L | as shown |
| <i>Magnolia grandiflora</i> | Bul Bay Magnolia | 20M | 400L | as shown |
| <i>Magnolia 'Little Gem'</i> | Little Gem Magnolia | 6M | 100L | as shown |
| <i>Platanus orientalis 'Digna'</i> | Cut Leaf Plane Tree | 15M | 200L | as shown |
| <i>Pyrus caleryana 'Bradford'</i> | Bradford Ornamental Pear | 12M | 75L | as shown |
| <i>Pyrus caleryana 'Capital'</i> | Capital Ornamental Pear | 7M | 75L | as shown |
| <i>Pyrus caleryana 'Chanticleer'</i> | Chanticleer Ornamental Pear | 11M | 75L | as shown |
| <i>Pyrus laurina 'Westwood' Korean Sun</i> | Korean Sun Ornamental Pear | 5M | 75L | as shown |
| <i>Tristanopsis laurina</i> | Water Gum | 8M | 200L | as shown |
| <i>Ulmus parvifolia</i> | Chinese Elm | 15M | 200L | as shown |
| SHRUBS AND CLIMBERS | | | | |
| <i>Acmopia 'Firescreen'</i> | Firescreen Lily Pili | 4M | 300MM | 2/m ² |
| <i>Acappanthus orientalis 'Queen Mum'</i> | Queen Mum Acappanthus | 1.5M | 200MM | 3/m ² |
| <i>Aloe 'Copper Showers'</i> | Copper Showers Aloe | 0.6M | 200MM | 3/m ² |
| <i>Aloe 'Southern Cross'</i> | Southern Cross Aloe | 0.6M | 200MM | 3/m ² |
| <i>Anagapthos hybrid 'Gold Velvet'</i> | Gold Velvet Kangaroo Paw | 0.5M | 150MM | 5/m ² |
| <i>Banksia serrulosa 'Birthday Candies'</i> | Birthday Candies banksia | 0.6M | 200MM | 2/m ² |
| <i>Beschermetia vucoides</i> | Mexican Lily | 1M | 300MM | 2/m ² |
| <i>Brachyscome multifida</i> | Cut Leaf Daisy | 0.2M | 150MM | 5/m ² |
| <i>Camekia sasanqua</i> | Sasanqua Camellia | 4M | 300MM | 2/m ² |
| <i>Ceratium tomentosum</i> | Snow-in-Summer | 0.3M | 150MM | 5/m ² |
| <i>Chrysocochalium aciculatum</i> | Yellow Buttons | 0.3M | 150MM | 5/m ² |
| <i>Dianella tasmanica</i> | Tasman Flax Lily | 0.5M | 150MM | 5/m ² |
| <i>Dichondra argentea 'Silver Falls'</i> | Silver Falls Kidney Wood | 0.1M | 150MM | 7/m ² |
| <i>Dichondra repens</i> | Kidney Wood | 0.1M | 150MM | 7/m ² |
| <i>Dorvantes excelsa</i> | Gymea Lily | 2M | 300MM | 2/m ² |
| <i>Furcraea foetida</i> | Mauritius Hemp | 2M | 300MM | 2/m ² |
| <i>Gardenia augusta 'Florida'</i> | Florida Gardenia | 1M | 200MM | 3/m ² |
| <i>Gaura lindheimeri</i> | Butterfly Bush | 0.6M | 150MM | 3/m ² |
| <i>Gazania tomentosa</i> | Treasure Flower | 0.3M | 150MM | 7/m ² |
| <i>Isoplepis nodosa</i> | Knobby Club Rush | 0.8M | 150MM | 5/m ² |
| <i>Kalanchoe orzyalis 'Copper Spoons'</i> | Copper Spoons | 1M | 150MM | 5/m ² |
| <i>Kalanchoe tomentosa</i> | Panda Plant | 0.5M | 200MM | 4/m ² |
| <i>Lavandula stoechas 'Avonview'</i> | Avonview Lavender | 1M | 200MM | 3/m ² |
| <i>Leucadendron stellaeum 'Harvest'</i> | Harvest Leucadendron | 0.7M | 200MM | 2/m ² |
| <i>Liriope muscari</i> | Lily Turf | 0.4M | 150MM | 5/m ² |
| <i>Lomandra 'Verday'</i> | Verday | 0.6M | 150MM | 5/m ² |
| <i>Mycoporum parvifolium</i> | Cresona Boobialla | 0.2M | 150MM | 7/m ² |
| <i>Pandorea jasminoides 'Lady Di'</i> | Lady Di Bower of Beauty | 5M | 200MM | 3/m ² |
| <i>Phormium 'Bronze Warrior'</i> | Bronze Warrior Flax | 1.5M | 200MM | 2/m ² |
| <i>Photinia 'Red Robin'</i> | Red Robin Photinia | 5M | 200MM | 2/m ² |
| <i>Pittosporum 'Miss Muffet'</i> | Miss Muffet Pittosporum | 1M | 200MM | 3/m ² |
| <i>Rhapidochloa 'Oriental Pearl'</i> | Oriental Pearl Indian Hawthorn | 1M | 200MM | 3/m ² |
| <i>Rhapidochloa 'Snow Maiden'</i> | Snow Maiden Indian Hawthorn | 0.8M | 200MM | 3/m ² |
| <i>Rosmarinus officinalis 'Prostratus'</i> | Prostrate Rosemary | 0.3M | 200MM | 3/m ² |
| <i>Senecio serpens</i> | Blue Chalk Sticks | 0.2M | 150MM | 5/m ² |
| <i>Trachelospermum jasminoides</i> | Star Jasmine | 3M | 140MM | 5/m ² |
| <i>Viburnum odoratissimum</i> | Sweet Viburnum | 3M | 300MM | 2/m ² |
| <i>Westringia 'Grey Box'</i> | Grey Box | 0.8M | 300MM | 2/m ² |



01 SITE PLAN
Scale 1:750 @ A1



- GENERAL NOTES**
- DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. NOTE ALL LANDSCAPE HARDWORKS INCLUDING PAVING, STEPS, RETAINING WALLS AND FENCES TO ARCHITECTS DOCUMENTATION AND DETAILS.
 - ALL PLANTING AREAS TO BE MULCHED, TYPICALLY 75MM DEPTH. ORGANIC MULCH TO CONFORM TO AS 4454-2012 COMPOST, SOIL CONDITIONERS AND MULCHES.
 - SOILS TO CONFORM TO AS 4419-2003 SOILS FOR LANDSCAPING AND GARDENS USE.
- ON GRADE - 300MM
- ON STRUCTURE - 400MM - 1000MM SOIL DEPTH
 - ALL PLANTING AREAS TO HAVE DRIP IRRIGATION SYSTEM WITH BACK UP PROTECTION TO THE MAIN SUPPLY, TO ALL CURRENT SYDNEY WATERS REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS.
 - MAINTAIN ALL WORKS DURING THE CONTRACT PERIOD FOR 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION INCLUDING, BUT NOT LIMITED TO WATERING, WEEDING, RUBBISH REMOVAL, REPLACEMENT PLANTING, DISEASE AND PEST CONTROL, PRUNING, SOIL AND MULCH CONTROL REINSTATEMENT.
 - PLANTING DENSITIES AS NOTED ON PLANT SCHEDULE.
 - REFER TO ARBORIST REPORT REGARDING TREES TO BE RETAINED AND REMOVED.

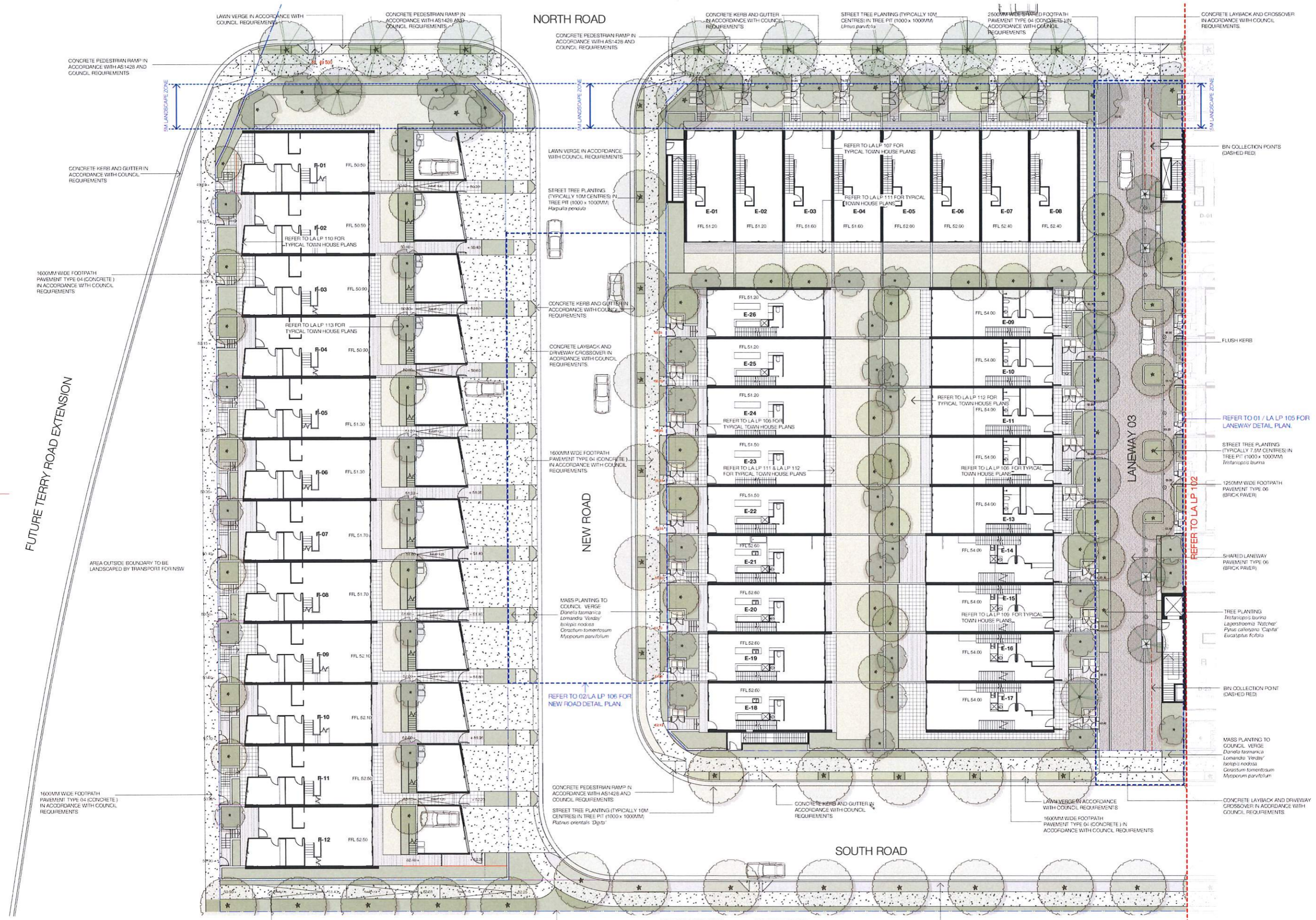
**51 Terry Road
Rouse Hill, NSW**

| DRAWING NO. | DRAWING TITLE | ISSUE |
|-------------|---|-------|
| LA LP 100 | Cover Sheet | 05 |
| LA LP 101 | Landscape Plan - Block E & F | 07 |
| LA LP 102 | Landscape Plan - Block C & D | 07 |
| LA LP 103 | Landscape Plan - Block A & B | 07 |
| LA LP 104 | Landscape Detail Plan - Communal Park | 04 |
| LA LP 105 | Landscape Detail Plan - Laneway and Roads | 05 |
| LA LP 106 | Landscape Detail Plan - Laneway and Roads | 04 |
| LA LP 107 | Town House Detail Plans 01 | 03 |
| LA LP 108 | Town House Detail Plans 02 | 04 |
| LA LP 109 | Town House Detail Plans 03 | 04 |
| LA LP 110 | Town House Detail Plans 04 | 04 |
| LA LP 111 | Town House Detail Plans 05 | 04 |
| LA LP 112 | Town House Detail Plans 06 | 04 |
| LA LP 113 | Town House Detail Plans 07 | 04 |
| LA LP 115 | Typical Street Tree Detail | 01 |

| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
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| 01 | 22.08.18 | Preliminary DA Issue |
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| 03 | 05.04.19 | DA Issue |
| 04 | 21.02.20 | Revised DA Issue |
| 05 | 10.03.20 | Revised DA Issue |

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| | | |
|---|--|---|
| PROJECT Residential Development 51 Terry Road ROUSE HILL, NSW | Drawn IK / GB L.Architect Authorised IK / GB Scale as indicated @ A1 | Client Poly (Australia) Real Estate Development Pty Ltd Status Development Application |
| DRAWING TITLE Cover Sheet | JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP100/ 05 |



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| 03 | 22.08.18 | Preliminary DA Issue |
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| 05 | 05.04.19 | DA Issue |
| 06 | 21.02.20 | Revised DA Issue |
| 07 | 10.03.20 | Revised DA Issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE

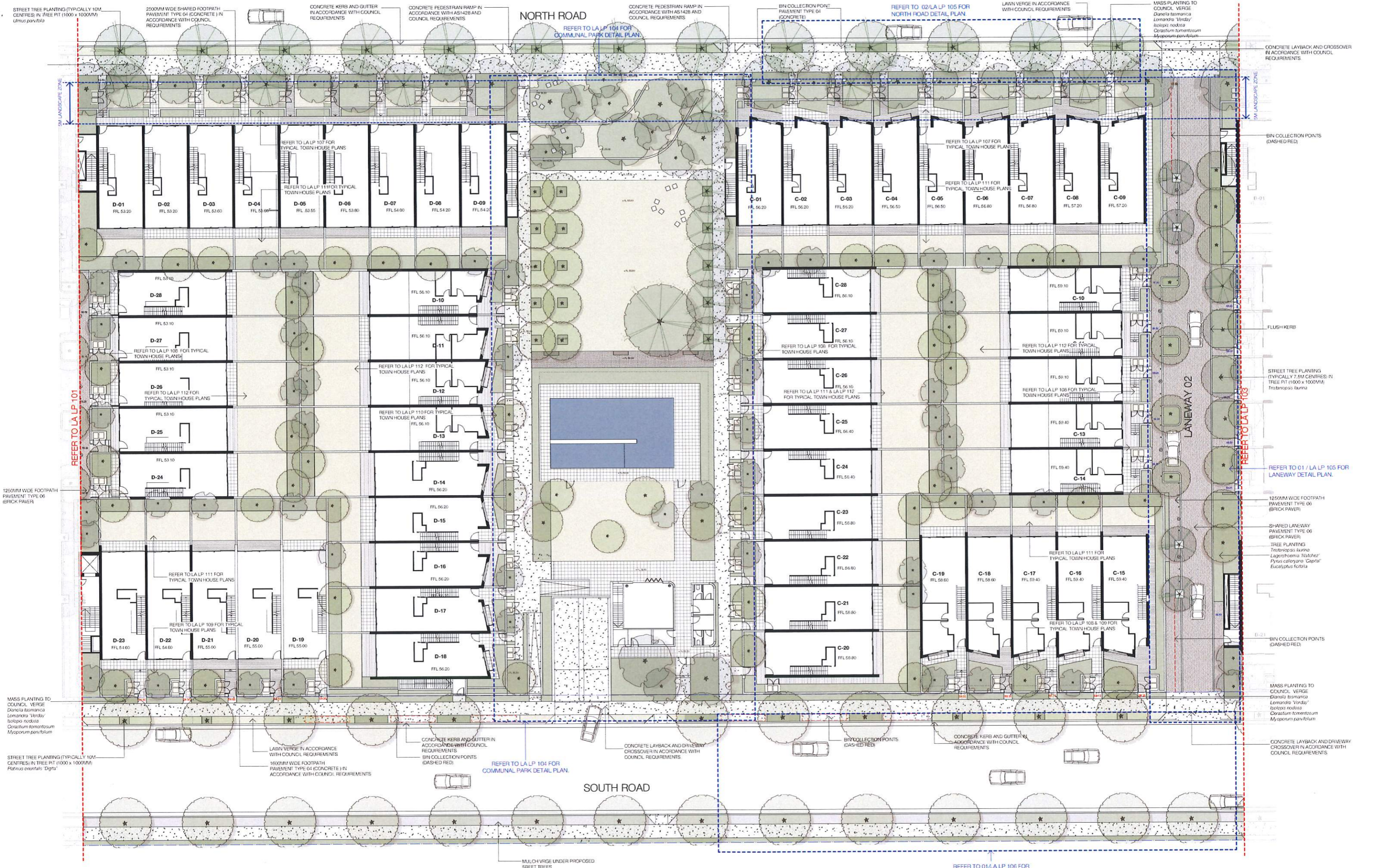


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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Landscape Site Plan - Block E & F

| | |
|--------------------------------|---|
| Drawn IK / GB | Client Poly (Australia) Real Estate Development Pty Ltd |
| L.Architect Authorised IK / GB | Status Developmnt Application |
| Scale 1:200 @ A1 | |
| JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP 101/ 07 |



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| 03 | 22.08.18 | Preliminary DA Issue |
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| 07 | 10.03.20 | Revised DA Issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE

1:200 @ A1

0 2 5 10 15m



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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Landscape Site Plan - Block E & F

| | |
|---|---|
| Drawn IK / GB | Client Poly (Australia) Real Estate Development Pty Ltd |
| L.Architect Authorised IK / GB | Status Development Application |
| Scale 1:200 @ A1 | |
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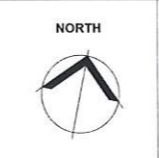


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| 05 | 05.04.19 | DA Issue |
| 06 | 21.02.20 | Revised DA Issue |
| 07 | 10.03.20 | Revised DA Issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE

1:200 @ A1

0 2 5 10 15m



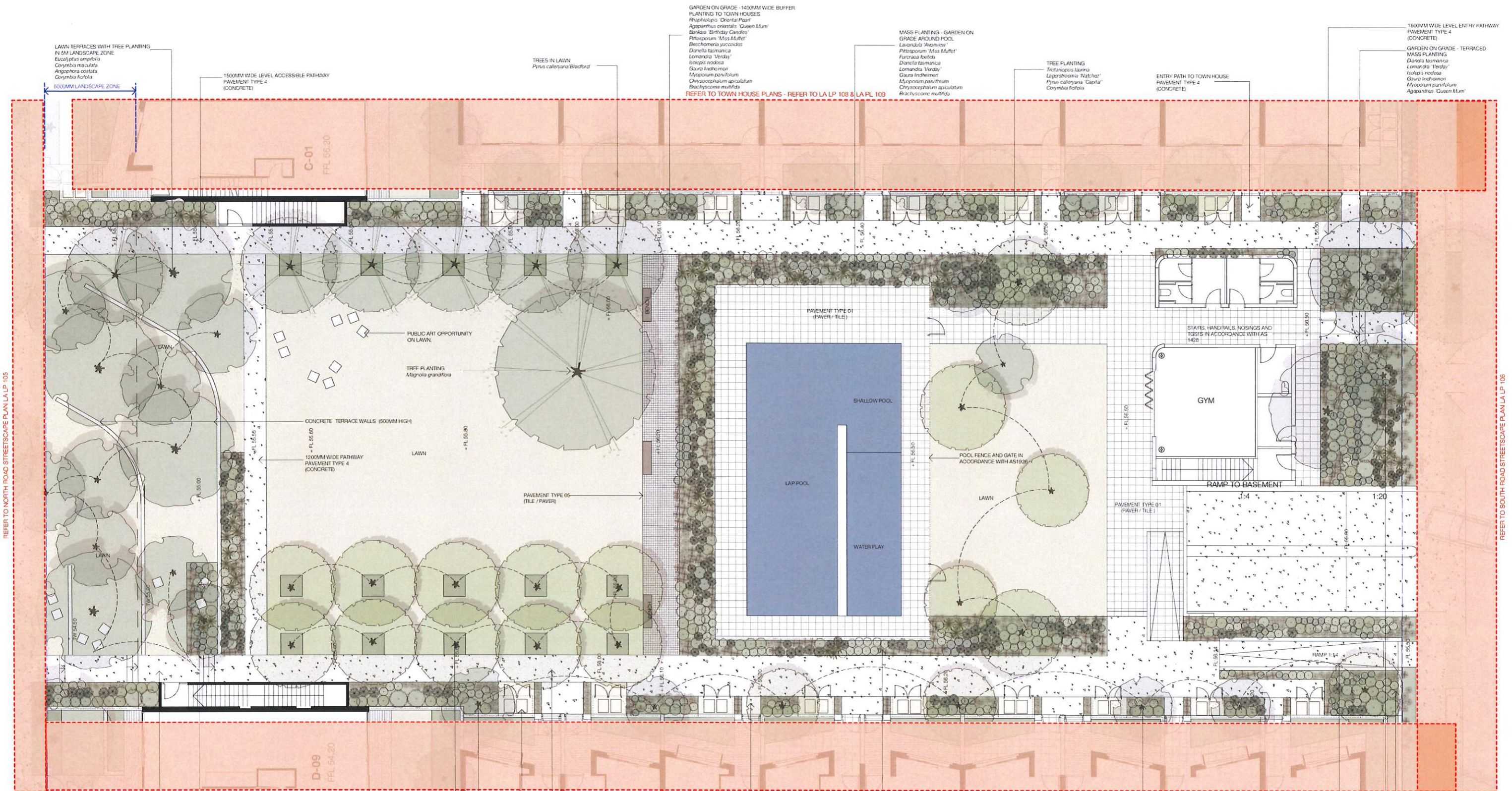
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PROJECT
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51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Landscape Site Plan - Block E & F

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| Scale 1:200 @ A1 | |
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REFER TO NORTH ROAD STREETSCAPE PLAN LA LP 105

REFER TO SOUTH ROAD STREETSCAPE PLAN LA LP 106

01 COMMUNAL PARK DETAIL PLAN
Scale 1:100 @ A1

| REV. | DATE: | DOCUMENT STATUS/ AMENDMENTS |
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| 01 | 22.08.18 | Preliminary DA issue |
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REFER TO LALP100 FOR NOTES AND PLANT SCHEDULE



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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Landscape Detail Plan
Communal Park

| | |
|---------------------|---|
| Drawn IK / GB | Client Poly (Australia) Real Estate Development Pty Ltd |
| L. Authored IK / GB | Status Development Application |
| Scale 1:100 @ A1 | |
| JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP 104/ 04 |

GARDEN ON GRADE - 1400MM WIDE BUFFER
PLANTING TO TOWN HOUSES
Rhaphiolepis 'Oriental Pearl'
Agapanthus orientalis 'Queen Mum'
Banksia 'Brilliant Candice'
Pittosporum 'Miss Muffet'
Besleria yuccoides
Daniella tasmanica
Lomandra 'Verday'
Isoplepis nodosa
Gaura Indohamen
Mycoporum parvifolium
Chrysocophalum apiculatum
Brachycome multifida
REFER TO TOWN HOUSE PLANS - REFER TO LA LP 108 & LA PL 109

MASS PLANTING - GARDEN ON GRADE AROUND POOL
Lavandula 'Aronview'
Pittosporum 'Miss Muffet'
Furcraea foetida
Daniella tasmanica
Lomandra 'Verday'
Gaura Indohamen
Mycoporum parvifolium
Chrysocophalum apiculatum
Brachycome multifida

TREE PLANTING
Tristanopsis laurina
Lagerstroemia 'Natchez'
Pyrus calleryana 'Capria'
Corymbia foetida

1600MM WIDE LEVEL ENTRY PATHWAY
PAVEMENT TYPE 4 (CONCRETE)
GARDEN ON GRADE - TERRACED
MASS PLANTING
Daniella tasmanica
Lomandra 'Verday'
Isoplepis nodosa
Gaura Indohamen
Mycoporum parvifolium
Agapanthus 'Queen Mum'

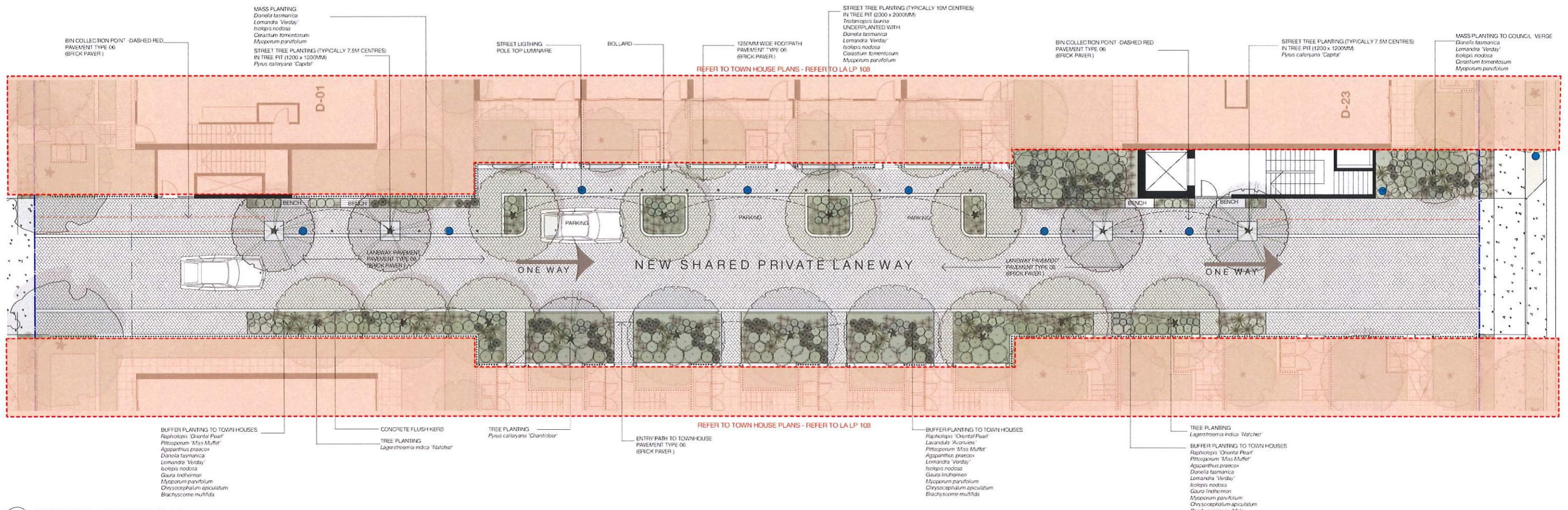
REFER TO TOWN HOUSE PLANS - REFER TO LA LP 109

MASS PLANTING - GARDEN ON GRADE AROUND POOL
Lavandula 'Aronview'
Pittosporum 'Miss Muffet'
Leucadendron 'Honest'
Daniella tasmanica
Lomandra 'Verday'
Gaura Indohamen
Mycoporum parvifolium
Chrysocophalum apiculatum
Brachycome multifida

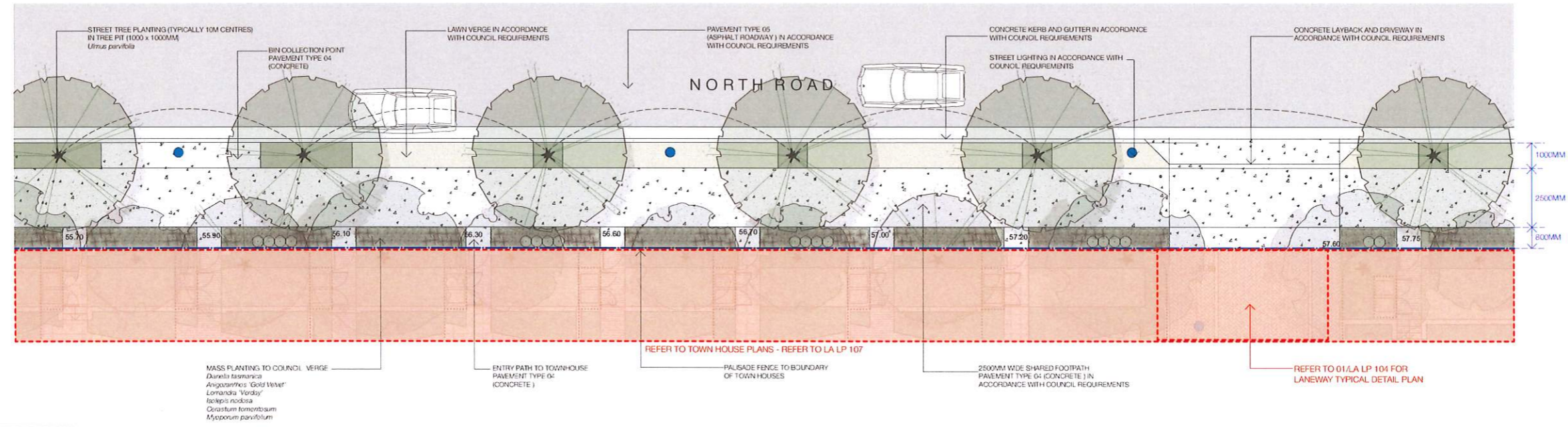
GARDEN ON GRADE - 1000MM WIDE BUFFER
PLANTING TO TOWN HOUSES
Rhaphiolepis 'Oriental Pearl'
Banksia 'Brilliant Candice'
Pittosporum 'Miss Muffet'
Besleria yuccoides
Agapanthus orientalis 'Queen Mum'
Daniella tasmanica
Lomandra 'Verday'
Isoplepis nodosa
Gaura Indohamen
Mycoporum parvifolium
Chrysocophalum apiculatum
Brachycome multifida

RAMP - HANDRAILS, NOSINGS AND TGS'S IN ACCORDANCE WITH AS 1428
PAVEMENT TYPE 4 (CONCRETE)
TREE PLANTING
Eucalyptus amplexica
Isoplepis nodosa
Angophora costata
Corymbia foetida

GARDEN ON GRADE - TERRACED MASS PLANTING
Daniella tasmanica
Lomandra 'Verday'
Isoplepis nodosa
Gaura Indohamen
Mycoporum parvifolium
Agapanthus praecox



01 NEW SHARED LANEWAY DETAIL PLAN
Scale 1:100 @ A1



02 NEW NORTH ROAD DETAIL PLAN
Scale 1:100 @ A1

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| 04 | 21.02.20 | Revised DA Issue |
| 05 | 10.03.20 | Revised DA Issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE

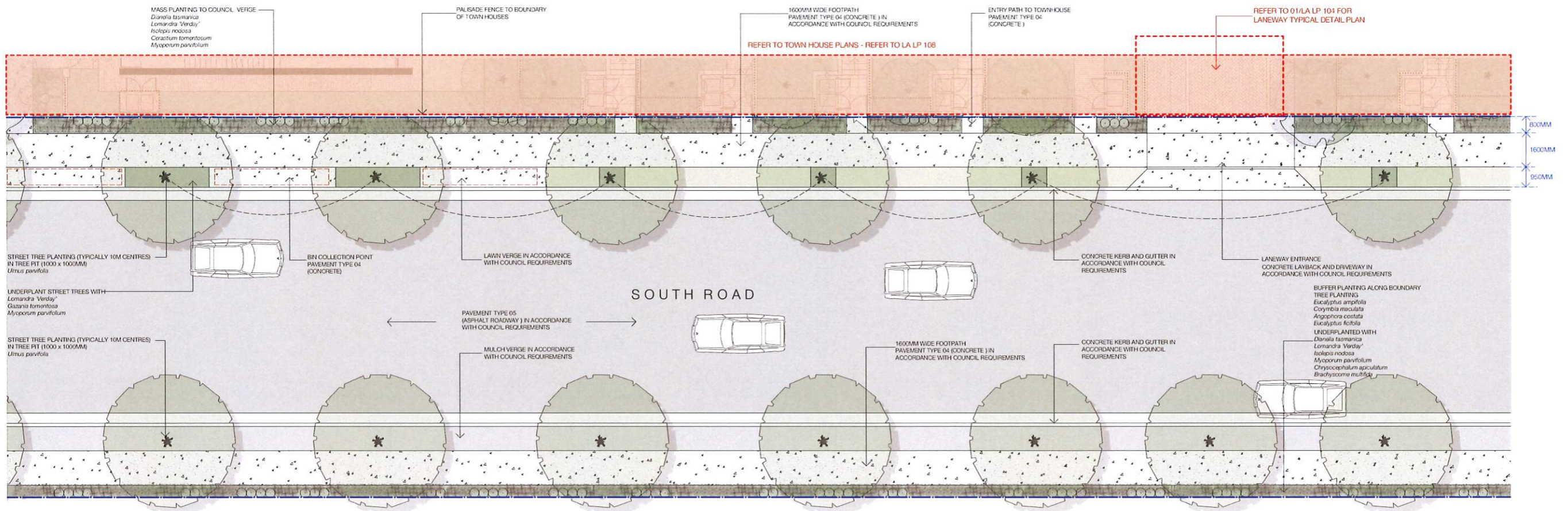


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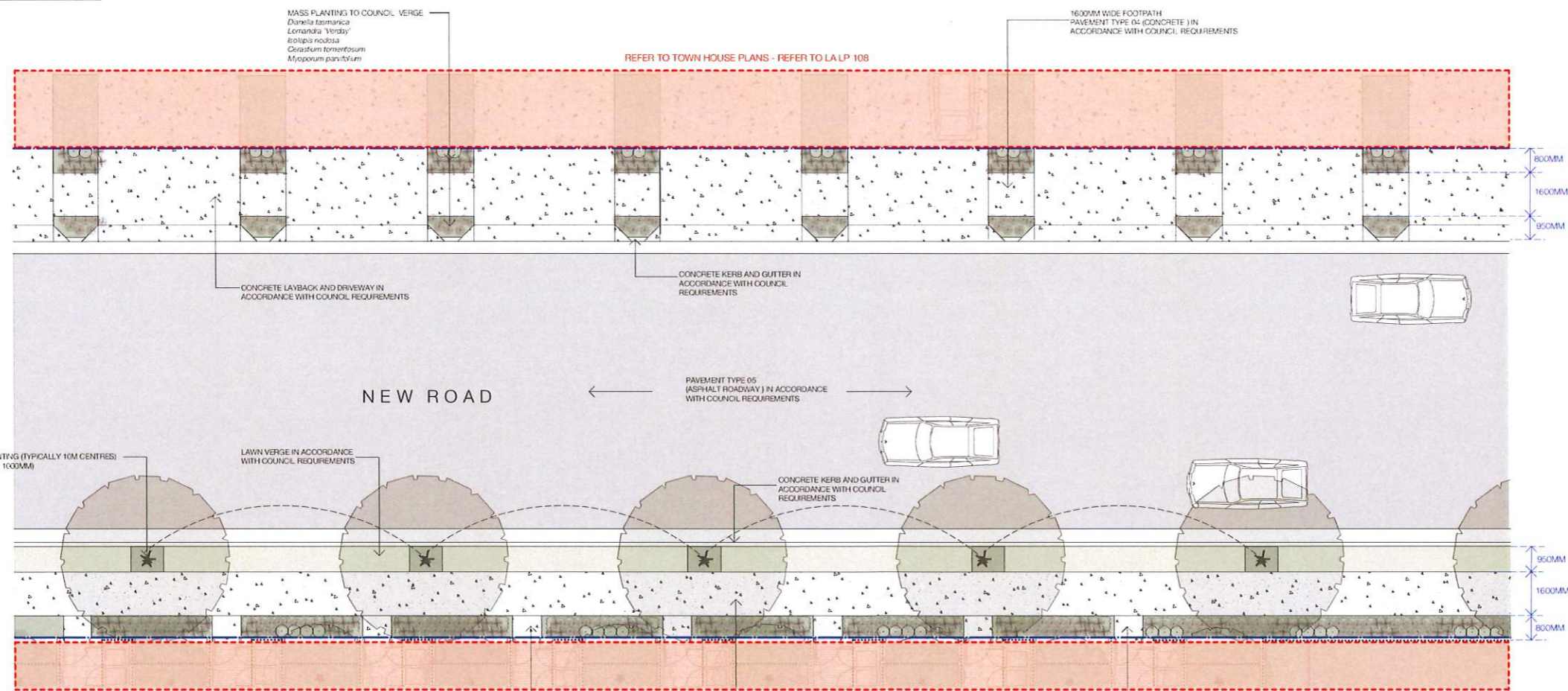
PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Landscape Detail Plan 02
Roads and Laneways

| | |
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| L.Architect Authorised IK / GB | Status Development Application |
| Scale 1:100 @ A1 | |
| JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP 105/ 05 |



01 NEW SOUTH ROAD DETAIL PLAN
Scale 1:100 @ A1



02 NEW WEST ROAD DETAIL PLAN
Scale 1:100 @ A1

| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
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REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE



NORTH



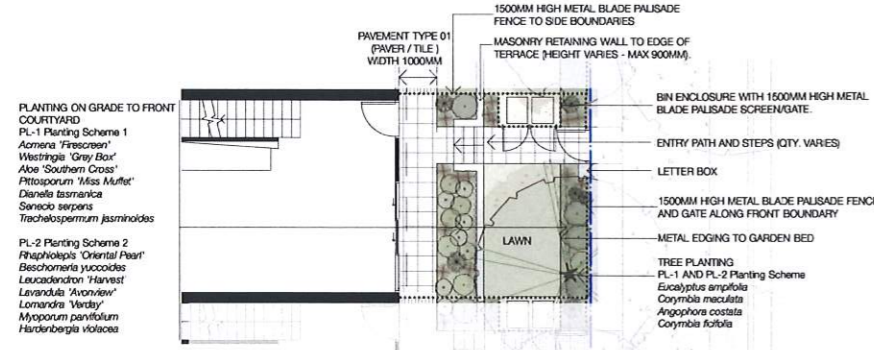
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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

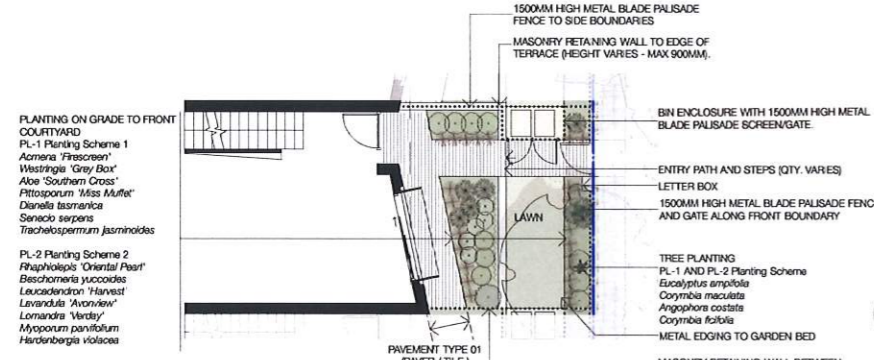
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Landscape Detail Plan 03
Roads and Laneways

Drawn IK / GB
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Scale 1:100 @ A1
JOB NUMBER BB 1214

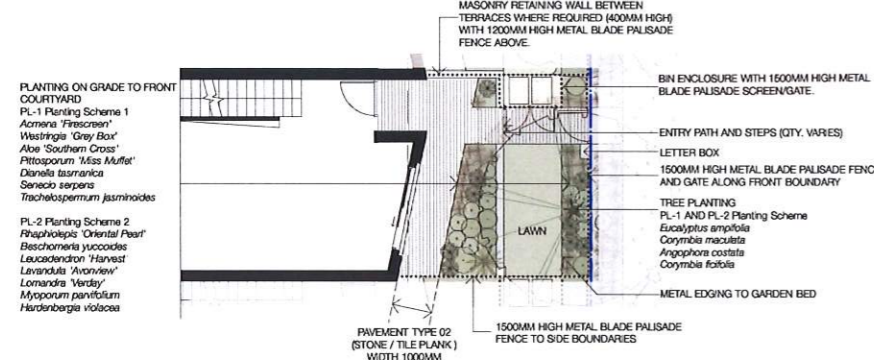
Client Poly (Australia) Real Estate Development Pty Ltd
Status Development Application
DRAWING NUMBER / ISSUE LA LP 106/ 04



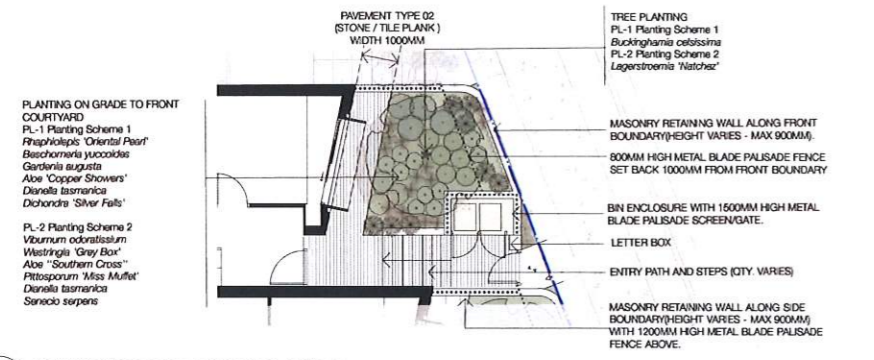
01 TOWNHOUSE FRONT COURTYARD TYPE 01
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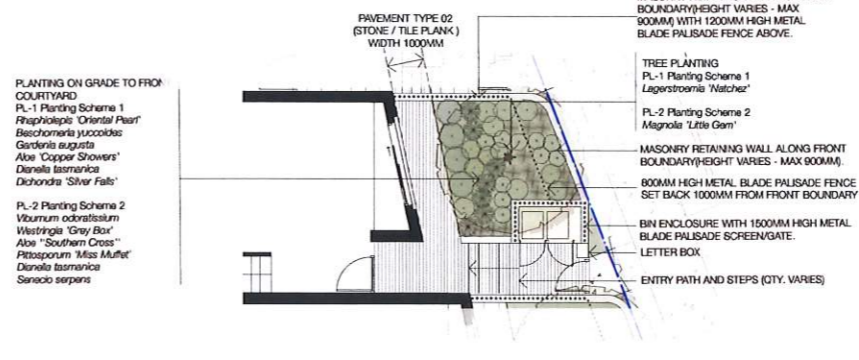
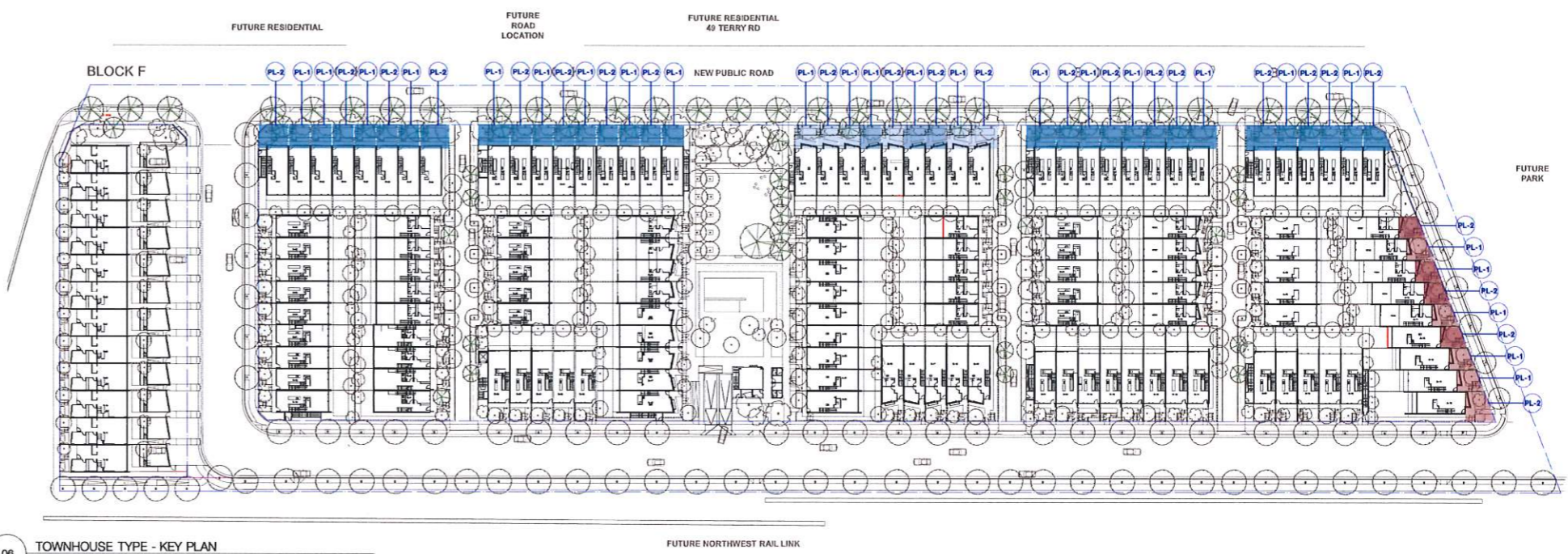
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 Scale 1:100 @ A1



03 TOWNHOUSE FRONT COURTYARD TYPE 03
 Scale 1:100 @ A1



04 TOWNHOUSE FRONT COURTYARD TYPE 04
 Scale 1:100 @ A1



05 TOWNHOUSE FRONT COURTYARD TYPE 05
 Scale 1:100 @ A1

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE



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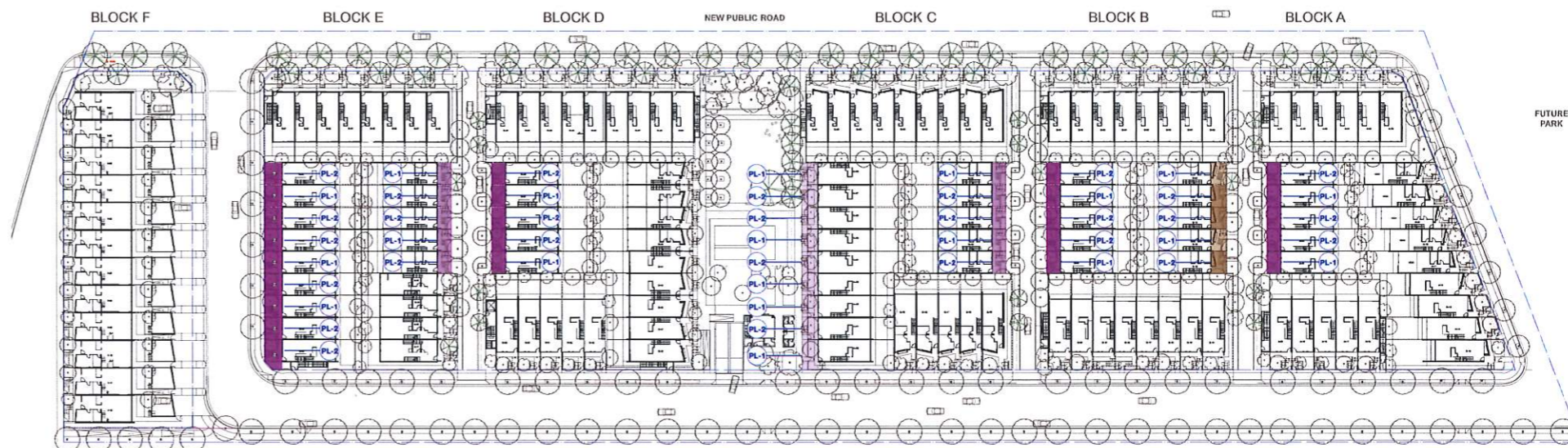
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| PROJECT Residential Development 51 Terry Road ROUSE HILL, NSW | Drawn IK / GB L.Architect Authorised IK / GB Scale 1:100 @ A1 | Client Poly (Australia) Real Estate Development Pty Ltd Status Development Application |
| DRAWING TITLE Town House Detail Plan 01 Ground Floor | JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP 107/ 03 |

| REV. | DATE | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 22.08.18 | Preliminary DA issue |
| 02 | 05.04.19 | DA issue |
| 03 | 21.02.20 | Revised DA issue |

FUTURE RESIDENTIAL

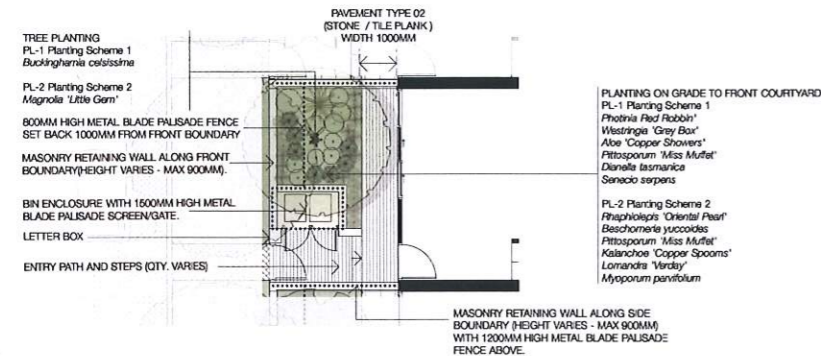
FUTURE ROAD LOCATION

FUTURE RESIDENTIAL 49 TERRY RD

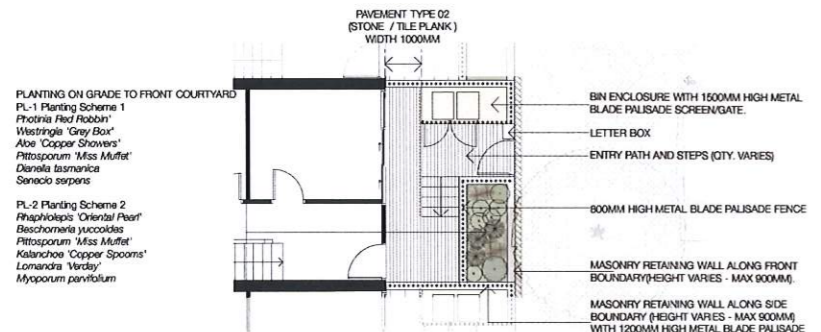


05 TOWNHOUSE TYPE - KEY PLAN Scale 1:750 @ A1

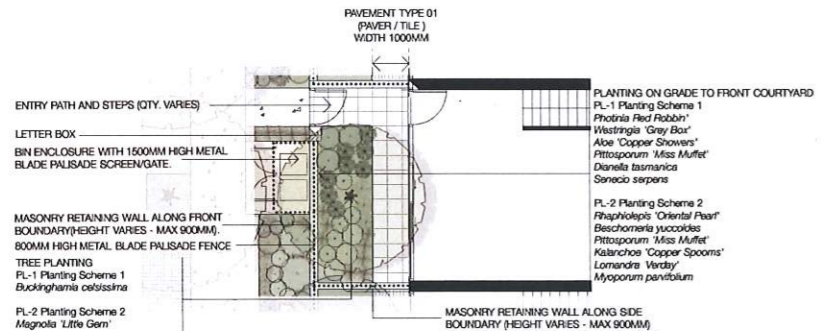
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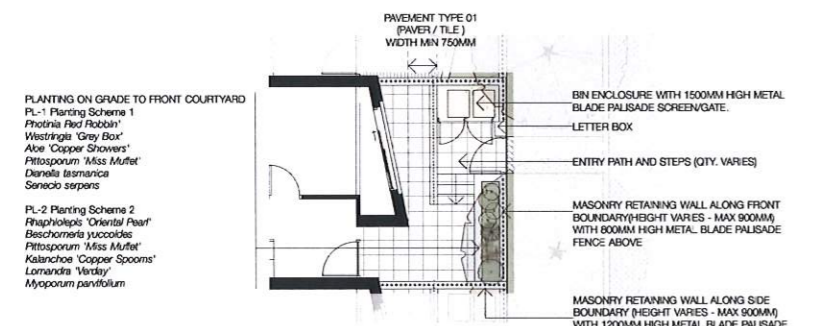
02 TOWNHOUSE FRONT COURTYARD TYPE 07 Scale 1:100 @ A1



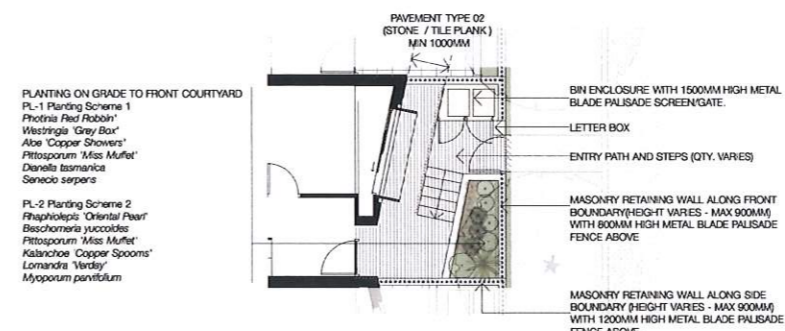
03 TOWNHOUSE FRONT COURTYARD TYPE 08 Scale 1:100 @ A1



04 TOWNHOUSE FRONT COURTYARD TYPE 09 Scale 1:100 @ A1



6 TOWNHOUSE FRONT COURTYARD TYPE 10 Scale 1:100 @ A1



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| 04 | 21.02.20 | Revised DA issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE



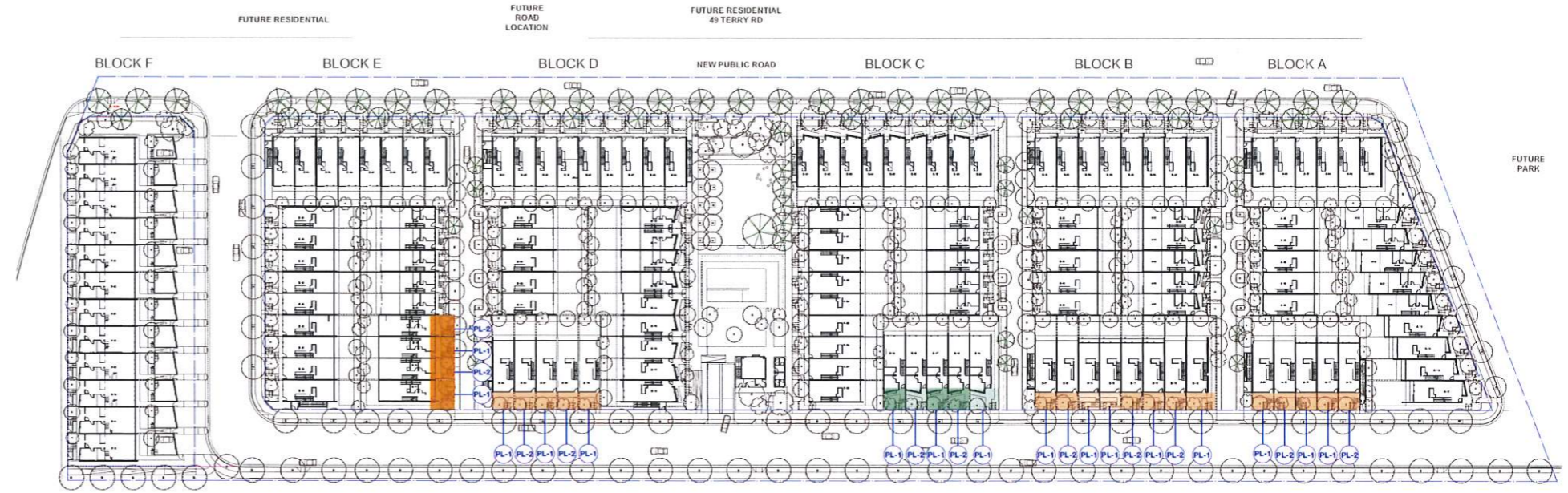
NORTH



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 Landscape Architecture and Design

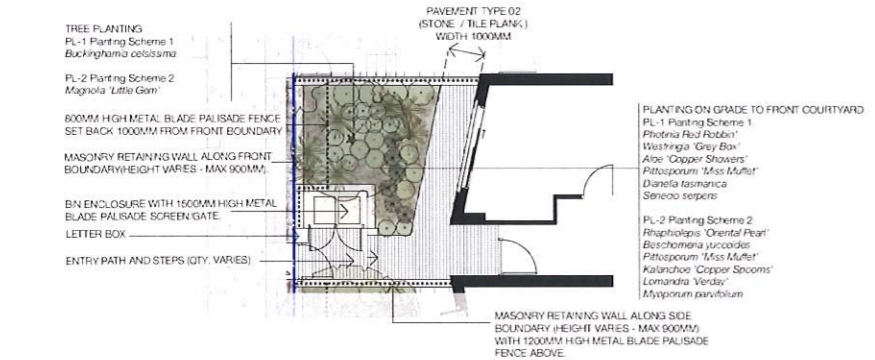
Black Beetle Pty Ltd
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 Tel: 0422 104 416
 email: blackbeetle@blackbeetle.com.au

| PROJECT | Drawn | Client |
|---|--|---|
| Residential Development 51 Terry Road ROUSE HILL, NSW | IK / GB L.Architect Authorised IK / GB | Poly (Australia) Real Estate Development Pty Ltd |
| DRAWING TITLE Town House Detail Plan 02 Ground Floor | Scale 1:100 @ A1 | Status Development Application |
| JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP 108/ 04 | |

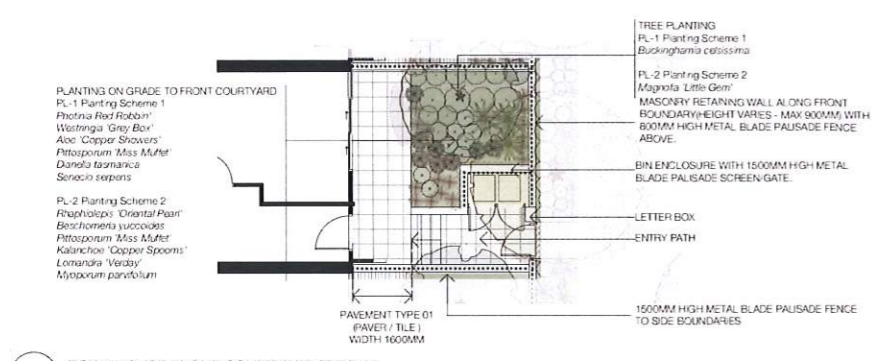


07 TOWNHOUSE TYPE - KEY PLAN
Scale 1:750 @ A1

01 TOWNHOUSE FRONT COURTYARD TYPE 11
Scale 1:100 @ A1



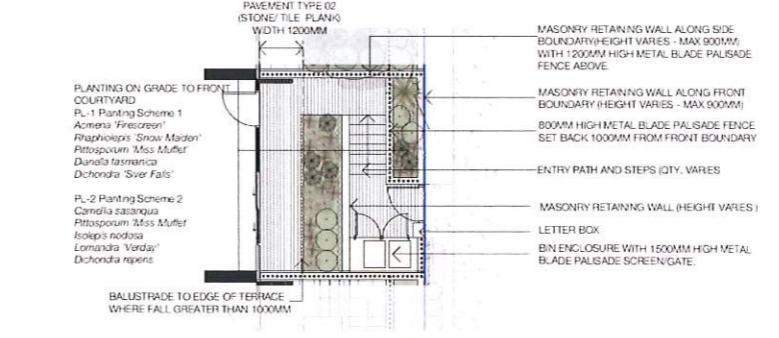
02 TOWNHOUSE FRONT COURTYARD TYPE 12
Scale 1:100 @ A1



03 TOWNHOUSE FRONT COURTYARD TYPE 13
Scale 1:100 @ A1

04 TOWNHOUSE FRONT COURTYARD TYPE 14
Scale 1:100 @ A1

05 TOWNHOUSE FRONT COURTYARD TYPE 15
Scale 1:100 @ A1



06 TOWNHOUSE FRONT COURTYARD TYPE 16
Scale 1:100 @ A1

not in use

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE

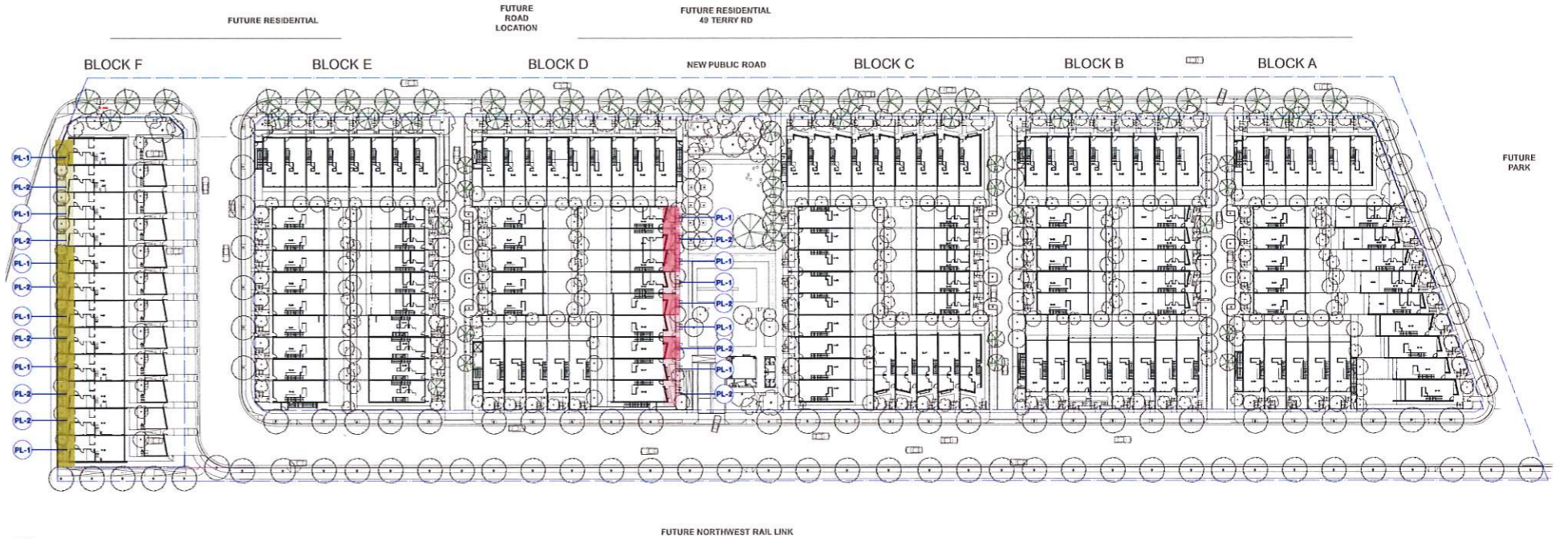


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| | | |
|---|--|---|
| PROJECT Residential Development 51 Terry Road ROUSE HILL, NSW | Drawn IK / GB L.Architect Authorised IK / GB Scale 1:100 @ A1 | Client Poly (Australia) Real Estate Development Pty Ltd Status Development Application |
| DRAWING TITLE Town House Detail Plan 03 Ground Floor | JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP 109/ 04 |

| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 22.08.18 | Preliminary DA issue |
| 02 | 20.03.19 | DA issue |
| 03 | 05.04.19 | DA issue |
| 04 | 21.02.20 | Revised DA issue |

not in use



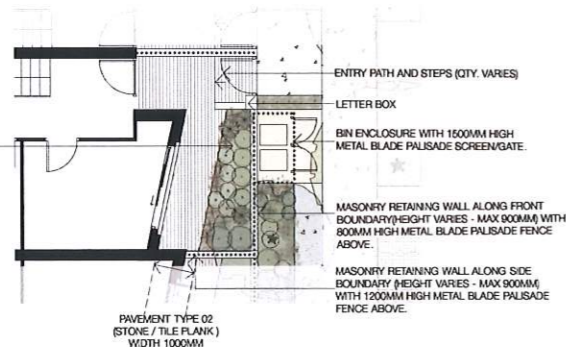
06 TOWNHOUSE TYPE - KEY PLAN
Scale 1:750 @ A1

01 TOWNHOUSE FRONT COURTYARD TYPE 17
Scale 1:100 @ A1

PLANTING ON GRADE TO FRONT COURTYARD

PL-1 Planting Scheme 1
Acmena 'Friscoem'
Westringia 'Grey Box'
Aloe 'Southern Cross'
Pitcairnia 'Miss Muffet'
Dianella tasmanica
Cerastium tomentosum

PL-2 Planting Scheme 2
Rhapidochloa 'Oriental Pearl'
Beschoermia yuccoides
Gardenia augusta
Aloe 'Copper Showers'
Dianella tasmanica
Dichondra 'Silver Falls'

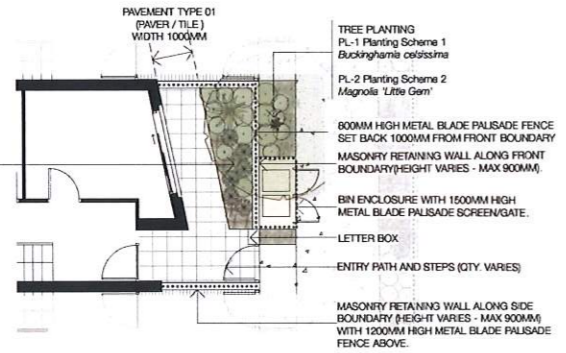


02 TOWNHOUSE FRONT COURTYARD TYPE 18
Scale 1:100 @ A1

PLANTING ON GRADE TO FRONT COURTYARD

PL-1 Planting Scheme 1
Acmena 'Friscoem'
Westringia 'Grey Box'
Aloe 'Southern Cross'
Pitcairnia 'Miss Muffet'
Dianella tasmanica
Cerastium tomentosum

PL-2 Planting Scheme 2
Rhapidochloa 'Oriental Pearl'
Beschoermia yuccoides
Gardenia augusta
Aloe 'Copper Showers'
Dianella tasmanica
Dichondra 'Silver Falls'



03 TOWNHOUSE FRONT COURTYARD TYPE 19
Scale 1:100 @ A1

TREE PLANTING

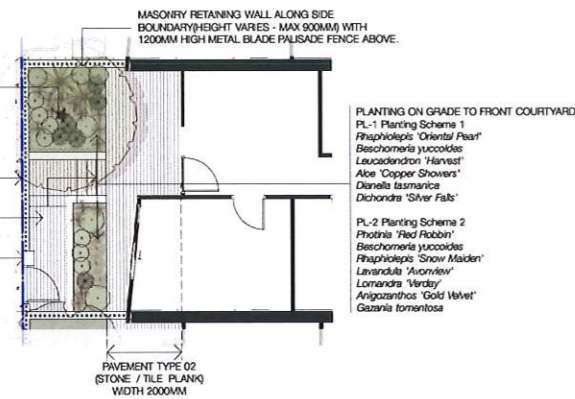
PL-1 Planting Scheme 1
Pyrus laevis 'Westwood' Korean Sun

PL-2 Planting Scheme 2
Lagerstroemia 'Natchez'

MASONRY RETAINING WALL ALONG FRONT BOUNDARY (HEIGHT VARIES - MAX 900MM) WITH 800MM HIGH METAL BLADE PALISADE FENCE ABOVE.

ENTRY PATH AND STEPS (QTY. VARIES)

LETTER BOX



04 TOWNHOUSE FRONT COURTYARD TYPE 20
Scale 1:100 @ A1

TREE PLANTING

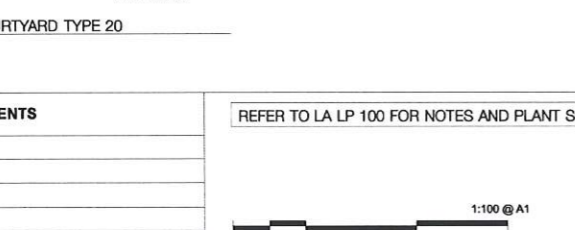
PL-1 Planting Scheme 1
Pyrus laevis 'Westwood' Korean Sun

PL-2 Planting Scheme 2
Lagerstroemia 'Natchez'

MASONRY RETAINING WALL ALONG FRONT BOUNDARY (HEIGHT VARIES - MAX 900MM) WITH 800MM HIGH METAL BLADE PALISADE FENCE ABOVE.

ENTRY PATH AND STEPS (QTY. VARIES)

LETTER BOX



05 TOWNHOUSE FRONT COURTYARD TYPE 21
Scale 1:100 @ A1

TREE PLANTING

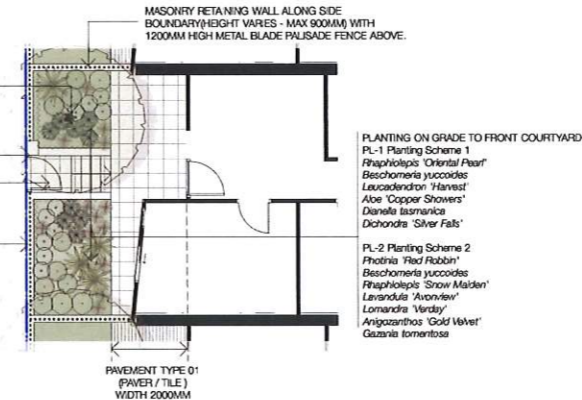
PL-1 Planting Scheme 1
Pyrus laevis 'Westwood' Korean Sun

PL-2 Planting Scheme 2
Lagerstroemia 'Natchez'

LETTER BOX

ENTRY PATH AND STEPS (QTY. VARIES)

MASONRY RETAINING WALL ALONG FRONT BOUNDARY (HEIGHT VARIES - MAX 900MM) WITH 800MM HIGH METAL BLADE PALISADE FENCE ABOVE.



| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 22.08.18 | Preliminary DA issue |
| 02 | 20.03.19 | DA issue |
| 03 | 05.04.19 | DA issue |
| 04 | 21.02.20 | Revised DA issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE



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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Town House Detail Plan 04
Ground Floor

Drawn IK / GB
L.Architect Authorised
IK / GB

Scale
1:100 @ A1

JOB NUMBER
BB 1214

Client Poly (Australia) Real Estate
Development Pty Ltd

Status
Development Application

DRAWING NUMBER / ISSUE
LA LP 110/ 04

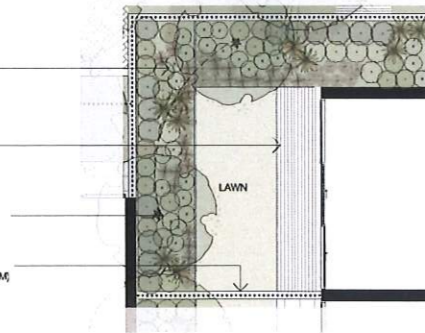
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PLANTER ON STRUCTURE
(MIN 600MM SOIL DEPTH)
Acronia 'Sublime'
Gardenia augusta
Dorothy's excelsa
Rhaphiops 'Snow Maiden'
Daniella formosica
Trochosperrum jasminoides

PAVEMENT TYPE 02
(STONE / TILE PLANK)

TREE PLANTING
Pinus taeda 'Westwood' 'Kansen Sun'

MASONRY RETAINING WALL ALONG SIDE BOUNDARY AT LEVEL CHANGES BETWEEN TOWN HOUSES (HEIGHT VARIES - MAX 900MM) WITH 1200MM HIGH TIMBER LAPPED AND CAPPED FENCE ABOVE.

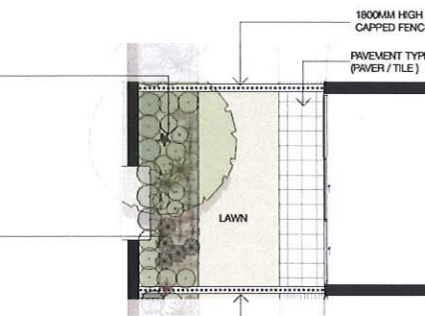


01 TOWNHOUSE REAR COURTYARD TYPE 01
Scale 1:100 @ A1

TREE PLANTING
PL-1 Planting Scheme 1
Buckinghamia celastroides
PL-2 Planting Scheme 2
Magnolia 'Little Gem'

PLANTING ON GRADE TO REAR COURTYARD
PL-1 Planting Scheme 1
Fraxinus 'Red Rabbit'
Westringia 'Grey Box'
Aloe 'Southern Cross'
Pittosporum 'Miss Muffet'
Daniella formosica
Sarcocolla serpens

PL-2 Planting Scheme 2
Rhaphiopsis 'Oriental Pearl'
Beschermetia yuccoides
Gardenia augusta
Kalanchoe tomentosa
Lomandra 'Vertigo'
Myoporum parvifolium

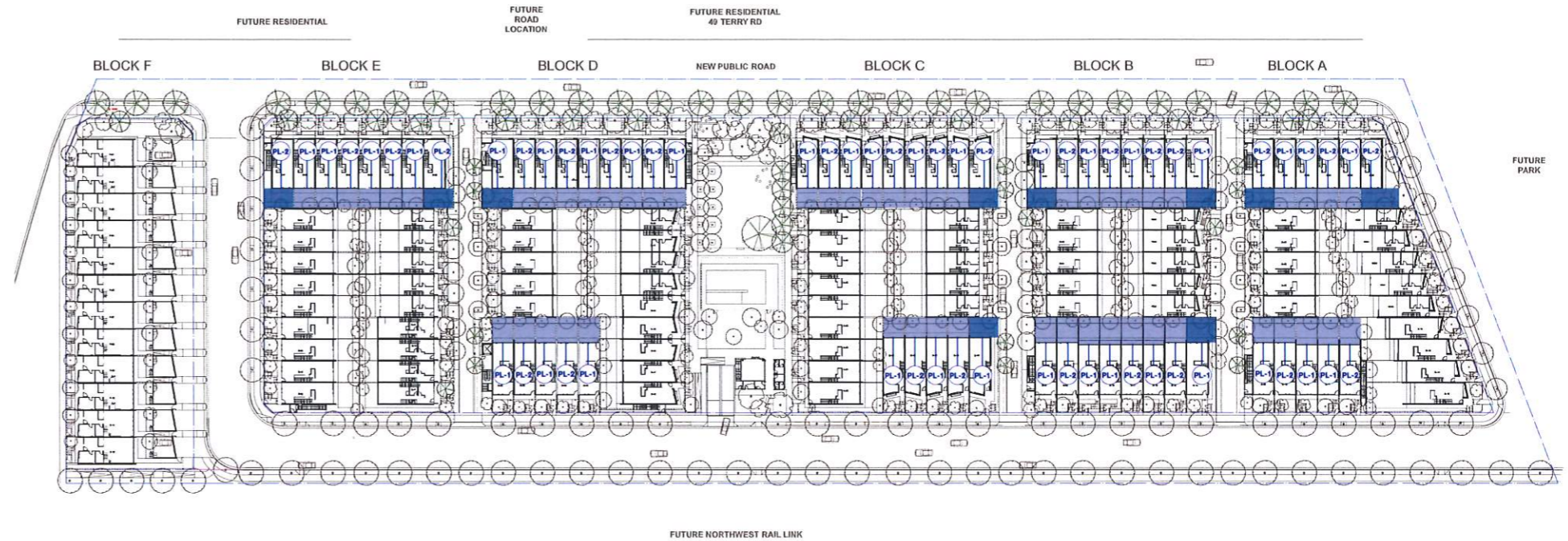


1800MM HIGH TIMBER LAPPED AND CAPPED FENCE ALONG SIDE BOUNDARY.

PAVEMENT TYPE 01
(PWER / TILE)

MASONRY RETAINING WALL ALONG SIDE BOUNDARY AT LEVEL CHANGES BETWEEN TOWN HOUSES (HEIGHT VARIES - MAX 900MM) WITH 1200MM HIGH TIMBER LAPPED AND CAPPED FENCE ABOVE.

02 TOWNHOUSE REAR COURTYARD TYPE 02
Scale 1:100 @ A1



03 TOWNHOUSE TYPE - KEY PLAN
Scale 1:750 @ A1

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE



| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
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| 01 | 22.08.18 | Preliminary DA issue |
| 02 | 20.03.19 | DA issue |
| 03 | 05.04.19 | DA issue |
| 04 | 21.02.20 | Revised DA issue |

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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Town House Detail Plan 05
Ground Floor

Drawn IK / GB

L.Architect Authorised
IK / GB

Scale
1:100 @ A1

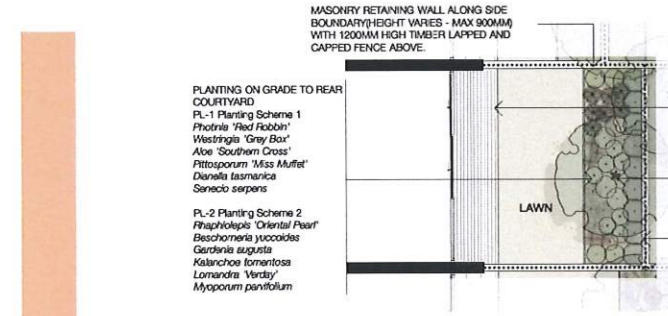
JOB NUMBER
BB 1214

Client
Poly (Australia) Real Estate
Development Pty Ltd

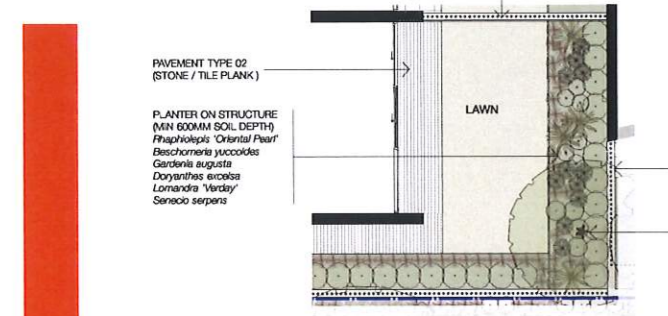
Status
Development Application

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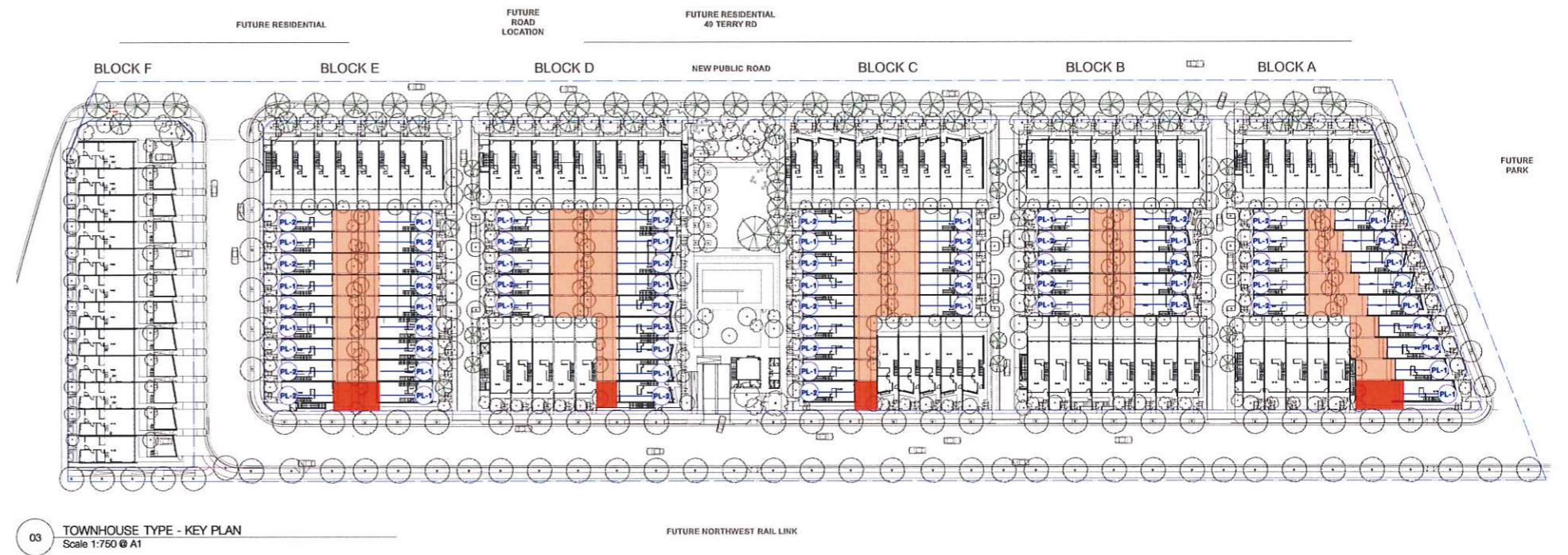
DRAWING NUMBER / ISSUE
LA LP 111/ 04



01 TOWNHOUSE REAR COURTYARD TYPE 03
 Scale 1:100 @ A1



02 TOWNHOUSE REAR COURTYARD TYPE 04
 Scale 1:100 @ A1



| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 22.08.18 | Preliminary DA issue |
| 02 | 20.03.19 | DA issue |
| 03 | 05.04.19 | DA issue |
| 04 | 21.02.20 | Revised DA issue |

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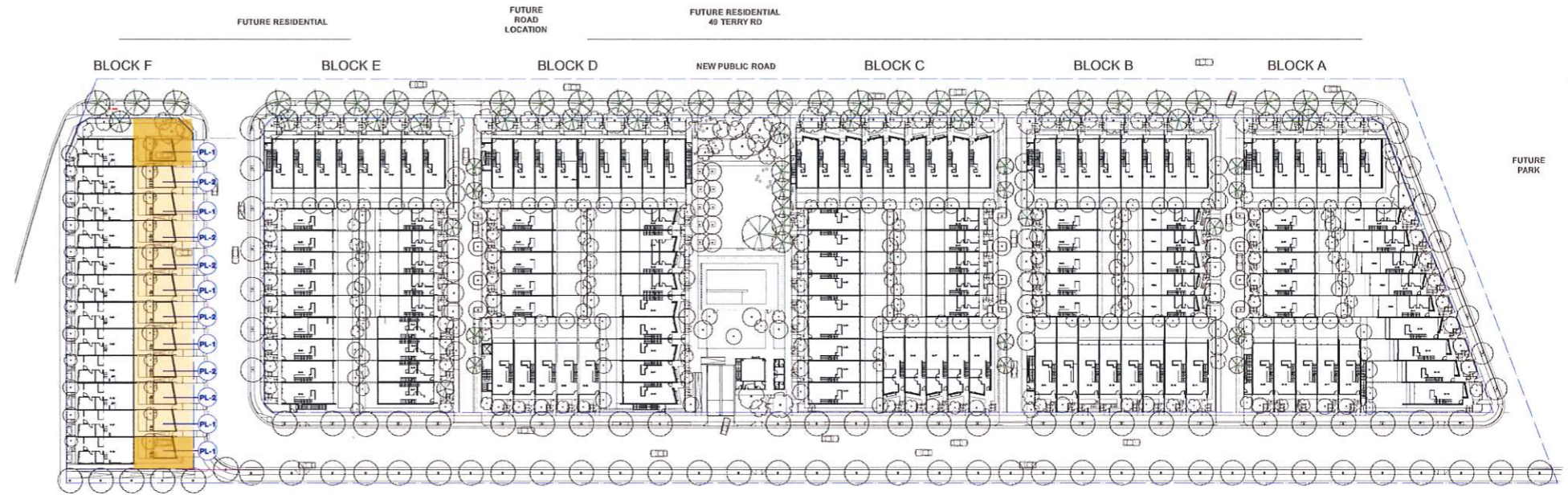
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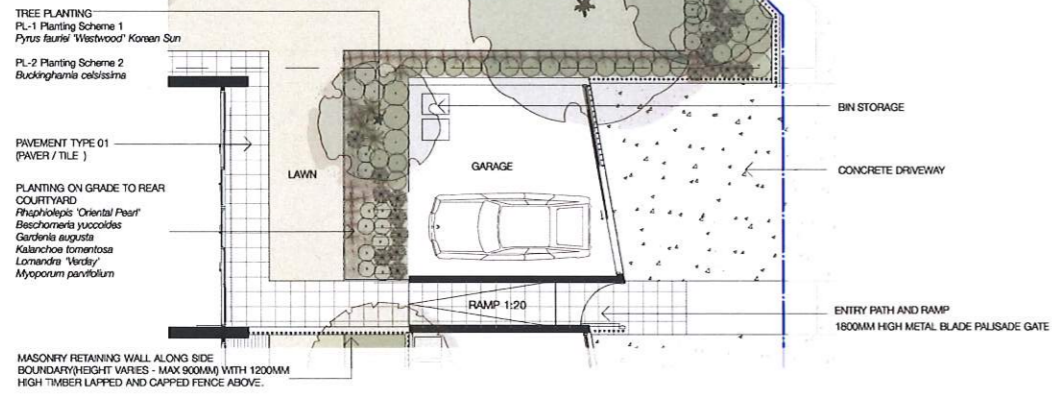
PROJECT
 Residential Development
 51 Terry Road
 ROUSE HILL, NSW

DRAWING TITLE
 Town House Detail Plan 06
 Ground Floor

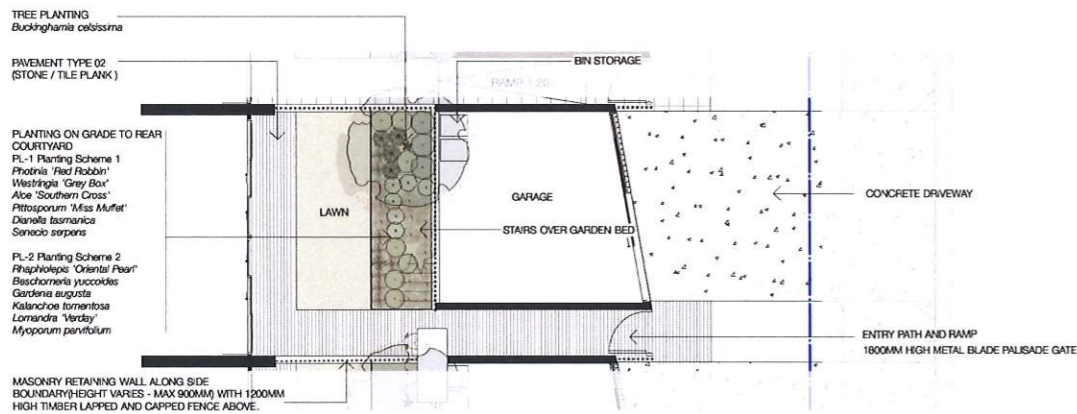
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| Drawn IK / GB | Client Poly (Australia) Real Estate Development Pty Ltd |
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03 TOWNHOUSE TYPE - KEY PLAN
Scale 1:750 @ A1



01 TOWNHOUSE REAR COURTYARD TYPE 05
Scale 1:100 @ A1



02 TOWNHOUSE REAR COURTYARD TYPE 06
Scale 1:100 @ A1

| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 22.08.18 | Preliminary DA issue |
| 02 | 20.03.19 | DA issue |
| 03 | 05.04.19 | DA issue |
| 04 | 21.02.20 | Revised DA issue |

REFER TO LA LP 100 FOR NOTES AND PLANT SCHEDULE



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51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Town House Detail Plan 07
Ground Floor

Drawn IK / GB
L.Architect Authorised

IK / GB

Scale

1:100 @ A1

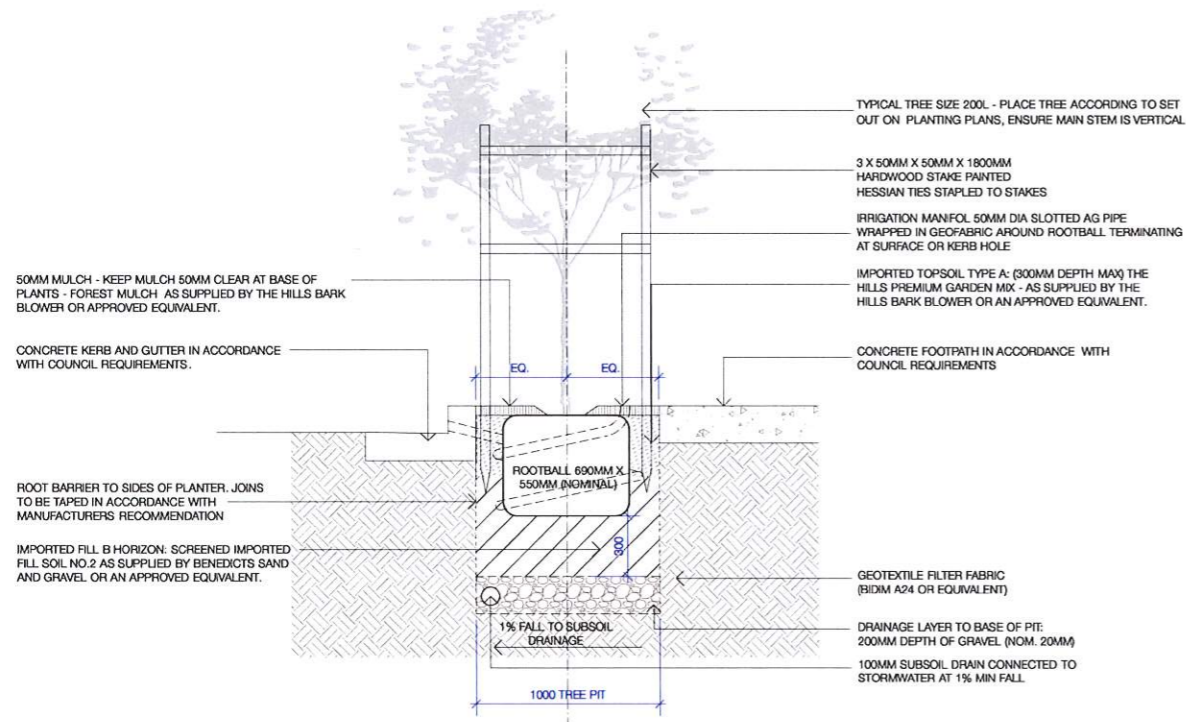
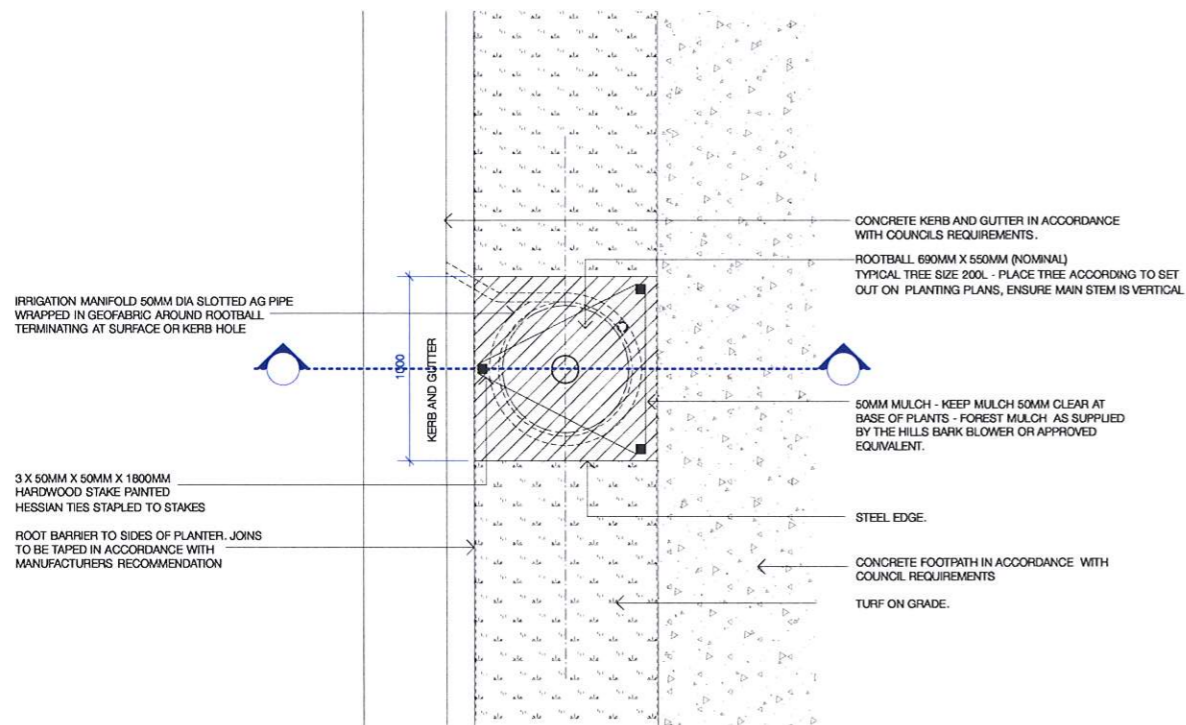
JOB NUMBER
BB 1214

Client Poly (Australia) Real Estate
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Status
Development Application

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LA LP 113/ 04



01 TYPICAL STREET TREE DETAIL
Scale 1:20 @ A1

TREE ESTABLISHMENT AND MAINTENANCE

THE TREE ESTABLISHMENT PERIOD COMMENCES AT THE DATE OF PRACTICAL COMPLETION FOR A PERIOD SPECIFIED BY BLACKTOWN CITY COUNCIL.

ALL TREES SHALL ALSO BE MAINTAINED IMMEDIATELY FOLLOWING THEIR INSTALLATION, UP UNTIL THE ABOVE TREE ESTABLISHMENT PERIOD COMMENCES. TREE MAINTENANCE WORKS SHALL BE UNDERTAKEN BY AN ARBORIST OR HORTICULTURIST WITH MINIMUM CERTIFICATION IN ACCORDANCE WITH AUSTRALIAN QUALIFICATIONS FRAMEWORK LEVEL 2.

THE INSTALLER SHALL SUBMIT A PROGRAM PRIOR TO THE COMMENCEMENT OF THE TREE ESTABLISHMENT PERIOD. THE PROGRAM SHALL DETAIL ALL WORKS REQUIRED DURING THE PLANTING ESTABLISHMENT PERIOD INCLUDING:

- RECTIFICATION OF DEFECTS;
- PROVISION OF MATERIALS;
- WATERING;
- FERTILISING;
- CONTROL OF WEED GROWTH;
- REPLACEMENT OF DEAD, DAMAGED OR STOLEN PLANTS.

THE INSTALLER SHALL PROVIDE 7 DAYS NOTICE OF ANY WORKS TO REPLACE TREES AS PART OF PLANTING ESTABLISHMENT. THROUGHOUT THE TREE ESTABLISHMENT PERIOD, THE INSTALLER MUST CONTINUE TO MAINTAIN NEW TREES AND CARRY OUT MAINTENANCE WORK INCLUDING, BUT NOT LIMITED TO:

- WEEDING AND RUBBISH REMOVAL FROM TREE SURROUNDS;
- FERTILISING;
- PEST AND DISEASE CONTROL;
- ADJUSTMENT, REMOVAL OR REPLACEMENT OF STAKES & TIES;
- FORMATIVE AND SELECTIVE PRUNING TO AS 4373 AND;
- MULCHING TO MAINTAIN AND REINSTATE TO DEPTH SPECIFIED

WATERING SHALL BE INCORPORATED INTO THE REGULAR MAINTENANCE SCHEDULE WITH THE SOIL MOISTURE CONTENT OF THE TREE PITS TO BE MAINTAINED ABOVE 60%. THE INSTALLER WILL ALLOW FOR 2 MAINTENANCE VISITS PER WEEK FROM BETWEEN JUNE TO AUGUST, AND 3 VISITS PER WEEK FOR THE REMAINDER OF THE YEAR PER TREE.

TREE GUARDS AND SUPPORTS
SUPPLY AND INSTALL 3 WOODEN STAKES WITH HESSIAN TIES PER TREE, FOR ALL TREES PLANTED UP TO 200 LITRE IN SIZE.

FERTILISING
AT TIME OF PLANTING
• SLOW RELEASE LANDSCAPE FERTILISER SUITABLE FOR TREES AND SHRUBS, 9 TO 12 MONTHS RELEASE TIME, OSMOCOTE OR APPROVED EQUIVALENT APPLIED ACCORDING TO MANUFACTURERS DIRECTIONS.

6 MONTHS AFTER PLANTING AND THEN MONTHLY THROUGH TO END OF PLANT THE ESTABLISHMENT PERIOD
• ORGANIC LIQUID FERTILISER, SEASOL OR APPROVED EQUIVALENT APPLIED TO SOIL AS PER MANUFACTURERS DIRECTIONS.

WATERING PIPE
THE WATERING PIPE WILL BE 50MM SLOTTED 'AG-PIPE'. THESE WILL BE WITH A GEOTEXTILE SLEEVE. THE SURFACE GRATES WILL BE AS SPECIFIED IN THE DETAILS FOR EACH TYPE OF TREE BASE.

PAVEMENT RECTIFICATION
REINSTATE AND MAKE GOOD TO MATCH EXACTLY THE SURROUNDING ADJACENT FINISH, TO THE SATISFACTION AND APPROVAL OF BLACKTOWN CITY COUNCIL. ALL PAVEMENT, PAVING, CONCRETE, BRICK OR OTHER SURFACE DAMAGED OR AFFECTED BY THE TREE PLANTING AND TREE BASE INSTALLATION WORKS.

TREE REPLACEMENTS
WHERE TREES ARE DAMAGED OR DIE OR FAIL TO MAINTAIN VIGOROUS GROWTH TYPICAL OF THE SPECIES DUE TO NEGLIGENCE OR INADEQUATE MAINTENANCE, THE INSTALLER SHALL REPLACE, REPLANT AND MAINTAIN TREES OF THE SAME SPECIES, SIZE AND QUALITY.

| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 24.02.20 | Revised DA Issue |
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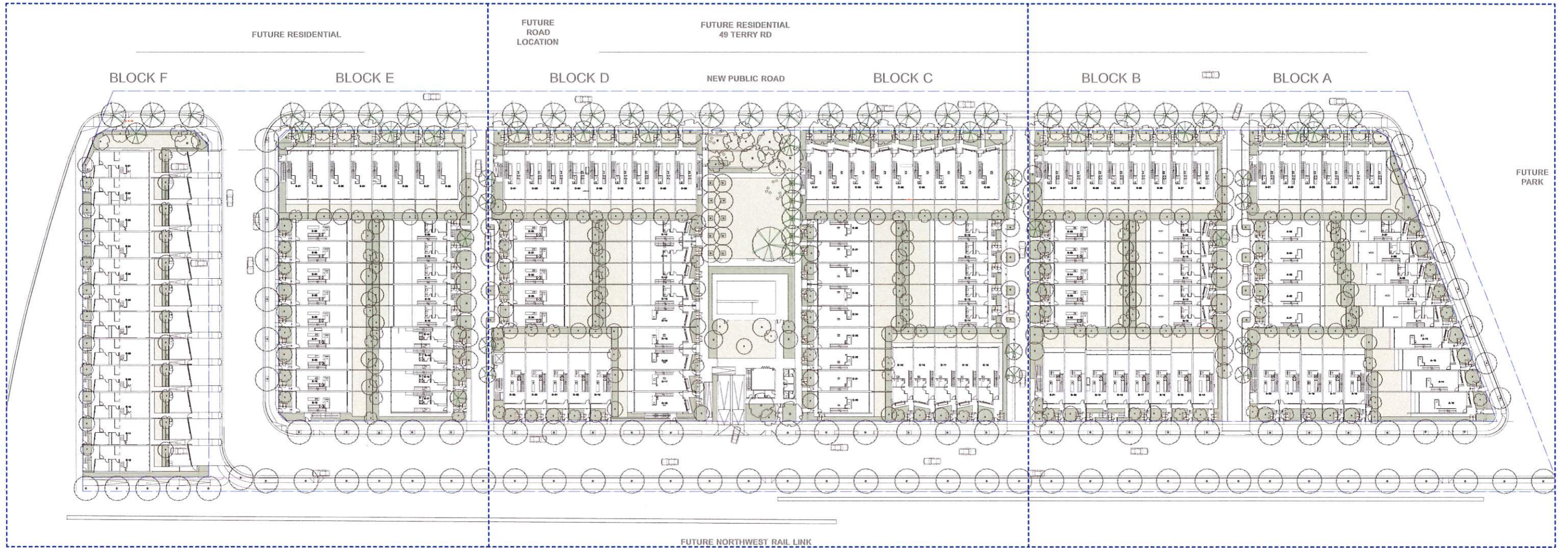
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| | | |
|---|---|--|
| PROJECT Residential Development 51 Tarry Road ROUSE HILL, NSW | Drawn IK / GB L.Architect Authorised IK / GB Scale as indicated @ A1 | Client Poly (Australia) Real Estate Development Pty Ltd Status Development Application |
| DRAWING TITLE Typical Street Tree Detail | JOB NUMBER BB 1214 | DRAWING NUMBER / ISSUE LA LP115/ 01 |

REFER TO LA LP 101

REFER TO LA LP 102

REFER TO LA LP 103



01 LANDSCAPE AREA PLAN
Scale 1:500 @ A1

Landscape Calculations
SITE AREA : 24950 sq.m
SOFT LANDSCAPE AREA:7486.48 sq.m (30%)

| REV: | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 21.02.20 | Revised DA Issue |
| | | |
| | | |

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PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
Landscape Calculations

Drawn IK / GB
L.Architect Authorised
IK / GB
Scale
as indicated @ A1

JOB NUMBER
BB 1214

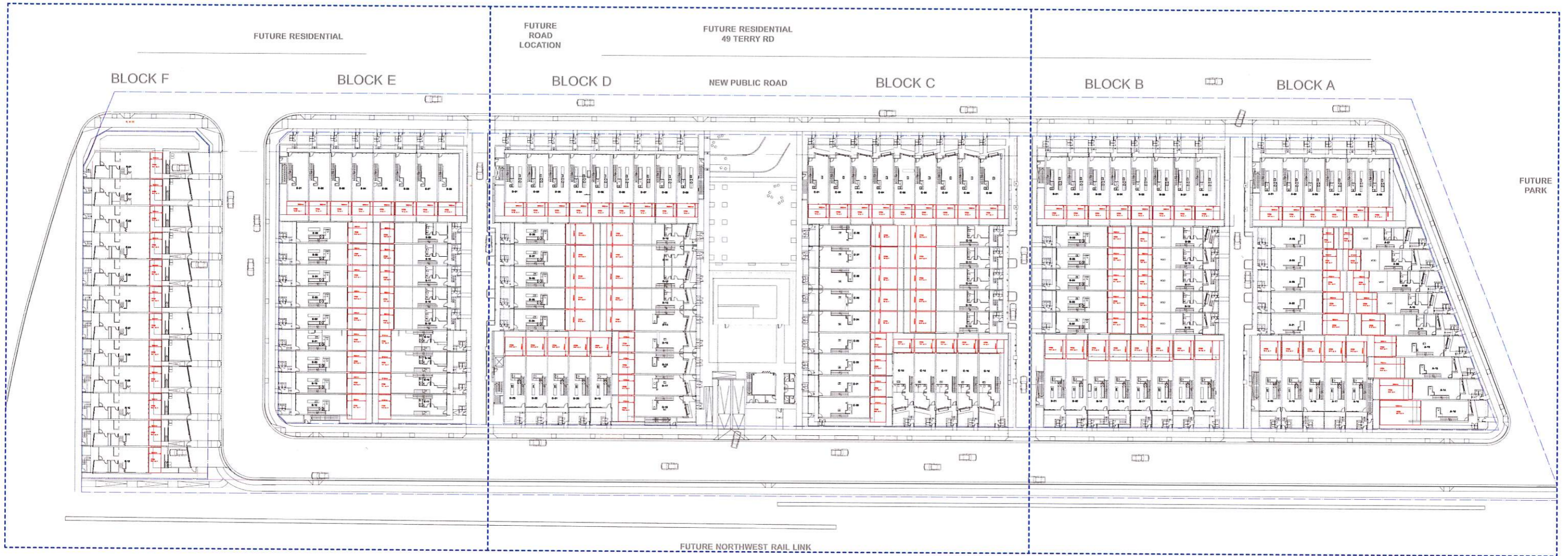
Client Poly (Australia) Real Estate
Development Pty Ltd
Status
Development Application

DRAWING NUMBER / ISSUE
LA LP201/ 01

REFER TO LA LP 101

REFER TO LA LP 102

REFER TO LA LP 103



01 PRINCIPLE PRIVATE OPEN SPACE PLAN
Scale 1:500 @ A1

BLOCK F

| APARTMENT NO. | PPOS (SQ.M) |
|---------------|-------------|
| F-01 | 20.7 |
| F-02 | 20.7 |
| F-03 | 20.7 |
| F-04 | 20.7 |
| F-05 | 20.7 |
| F-06 | 20.7 |
| F-07 | 20.7 |
| F-08 | 20.7 |
| F-09 | 20.7 |
| F-10 | 20.7 |
| F-11 | 20.7 |
| F-12 | 20.7 |

BLOCK E

| APARTMENT NO. | PPOS (SQ.M) |
|---------------|-------------|
| E-01 | 19.1 |
| E-02 | 18.0 |
| E-03 | 18.0 |
| E-04 | 18.0 |
| E-05 | 18.0 |
| E-06 | 18.0 |
| E-07 | 18.0 |
| E-08 | 21.5 |
| E-09 | 18.9 |
| E-10 | 18.9 |
| E-11 | 18.9 |
| E-12 | 18.9 |
| E-13 | 18.9 |
| E-14 | 18.1 |
| E-15 | 16.1 |
| E-16 | 16.1 |
| E-17 | 19.3 |
| E-18 | 30.7 |
| E-19 | 25.3 |
| E-20 | 25.3 |
| E-21 | 25.3 |
| E-22 | 25.3 |
| E-23 | 25.3 |
| E-24 | 25.3 |
| E-25 | 25.3 |
| E-26 | 25.3 |

BLOCK D

| APARTMENT NO. | PPOS (SQ.M) |
|---------------|-------------|
| D-01 | 19.1 |
| D-02 | 18.0 |
| D-03 | 18.0 |
| D-04 | 18.0 |
| D-05 | 18.0 |
| D-06 | 18.0 |
| D-07 | 18.0 |
| D-08 | 18.0 |
| D-09 | 18.0 |
| D-10 | 34.3 |
| D-11 | 34.3 |
| D-12 | 34.3 |
| D-13 | 34.3 |
| D-14 | 38.0 |
| D-15 | 21.2 |
| D-16 | 21.2 |
| D-17 | 21.2 |
| D-18 | 26.5 |
| D-19 | 24.8 |
| D-20 | 24.8 |
| D-21 | 24.8 |
| D-22 | 24.8 |
| D-23 | 24.8 |
| D-24 | 37.5 |
| D-25 | 37.5 |
| D-26 | 37.5 |
| D-27 | 37.5 |
| D-28 | 37.5 |

BLOCK C

| APARTMENT NO. | PPOS (SQ.M) |
|---------------|-------------|
| C-01 | 18.0 |
| C-02 | 18.0 |
| C-03 | 18.0 |
| C-04 | 18.0 |
| C-05 | 18.0 |
| C-06 | 18.0 |
| C-07 | 18.0 |
| C-08 | 18.0 |
| C-09 | 21.7 |
| C-10 | 34.3 |
| C-11 | 34.3 |
| C-12 | 34.3 |
| C-13 | 34.3 |
| C-14 | 34.3 |
| C-15 | 22.0 |
| C-16 | 18.2 |
| C-17 | 18.2 |
| C-18 | 18.2 |
| C-19 | 18.2 |
| C-20 | 25.8 |
| C-21 | 21.2 |
| C-22 | 21.2 |
| C-23 | 21.2 |
| C-24 | 36.0 |
| C-25 | 36.0 |
| C-26 | 36.0 |
| C-27 | 36.0 |
| C-28 | 36.0 |

BLOCK B

| APARTMENT NO. | PPOS (SQ.M) |
|---------------|-------------|
| B-01 | 18.9 |
| B-02 | 18.0 |
| B-03 | 18.0 |
| B-04 | 18.0 |
| B-05 | 18.0 |
| B-06 | 18.0 |
| B-07 | 18.0 |
| B-08 | 21.5 |
| B-09 | 18.4 |
| B-10 | 18.4 |
| B-11 | 18.4 |
| B-12 | 18.4 |
| B-13 | 18.4 |
| B-14 | 30.1 |
| B-15 | 24.8 |
| B-16 | 27.3 |
| B-17 | 27.3 |
| B-18 | 27.3 |
| B-19 | 27.3 |
| B-20 | 24.8 |
| B-21 | 24.8 |
| B-22 | 22.7 |
| B-23 | 22.7 |
| B-24 | 22.7 |
| B-25 | 22.7 |
| B-26 | 22.7 |

BLOCK A

| APARTMENT NO. | PPOS (SQ.M) |
|---------------|-------------|
| A-01 | 18.9 |
| A-02 | 18.0 |
| A-03 | 18.0 |
| A-04 | 18.0 |
| A-05 | 18.0 |
| A-06 | 21.6 |
| A-07 | 12.8 |
| A-08 | 16.5 |
| A-09 | 20.8 |
| A-10 | 27.3 |
| A-11 | 31.8 |
| A-12 | 29.5 |
| A-13 | 40.5 |
| A-14 | 44.2 |
| A-15 | 65.8 |
| A-16 | 27.3 |
| A-17 | 27.3 |
| A-18 | 27.3 |
| A-19 | 24.8 |
| A-20 | 24.8 |
| A-21 | 34.3 |
| A-22 | 27.3 |
| A-23 | 23.3 |
| A-24 | 18.3 |
| A-25 | 14.5 |

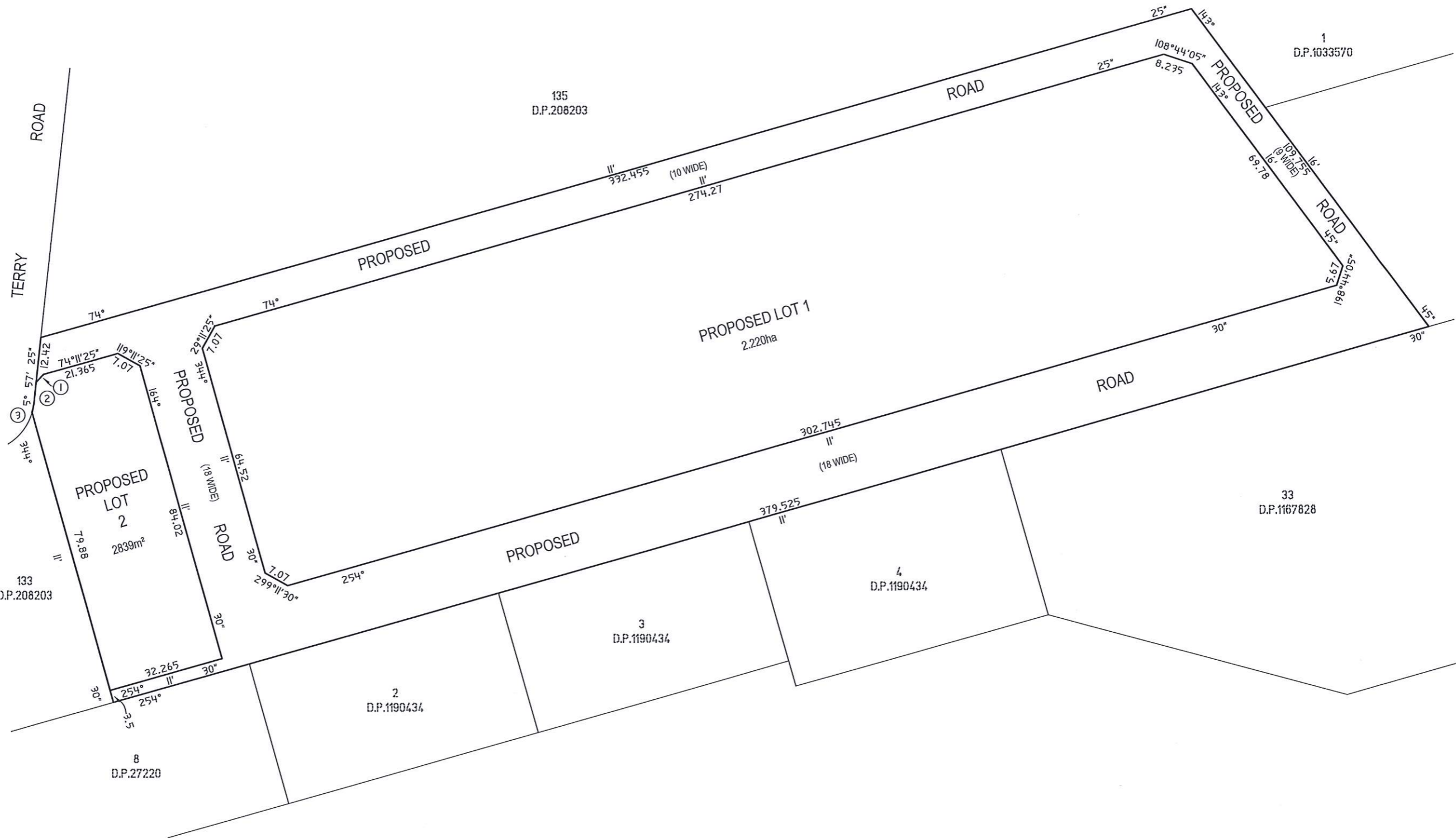
| REV. | DATE: | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01 | 21.02.20 | Revised DA Issue |

black beetle
Landscape Architecture and Design
Black Beetle Pty Ltd
Level 1, 1073 Pittwater Road, Collaroy NSW 2097
Tel: 0422 104 416
email: blackbeetle@blackbeetle.com.au

PROJECT
Residential Development
51 Terry Road
ROUSE HILL, NSW

DRAWING TITLE
PPOS Calculations

| | |
|--|--|
| Drawn IK / GB | Client Poly (Australia) Real Estate Development Pty Ltd |
| L.Architect Authorised IK / GB | Status Development Application |
| Scale as indicated @ A1 | JOB NUMBER BB 1214 |
| DRAWING NUMBER / ISSUE LA LP202/ 01 | |



PLAN NOT FOR NSW
LRS INVESTIGATION

PRELIMINARY PLAN ONLY LOT
DIMENSIONS AND AREAS SUBJECT
TO SURVEY & REGISTRATION OF
THE FINAL PLAN AT NSW LRS

PROPOSED EASEMENT LOCATIONS ARE
INDICATIVE ONLY & SUBJECT TO
DEVELOPMENT CONSENT, DETAILED DESIGN,
CONSTRUCTION, SURVEY & REGISTRATION OF
THE FINAL PLAN AT NSW LRS

SCHEDULE OF CURVED BOUNDARIES

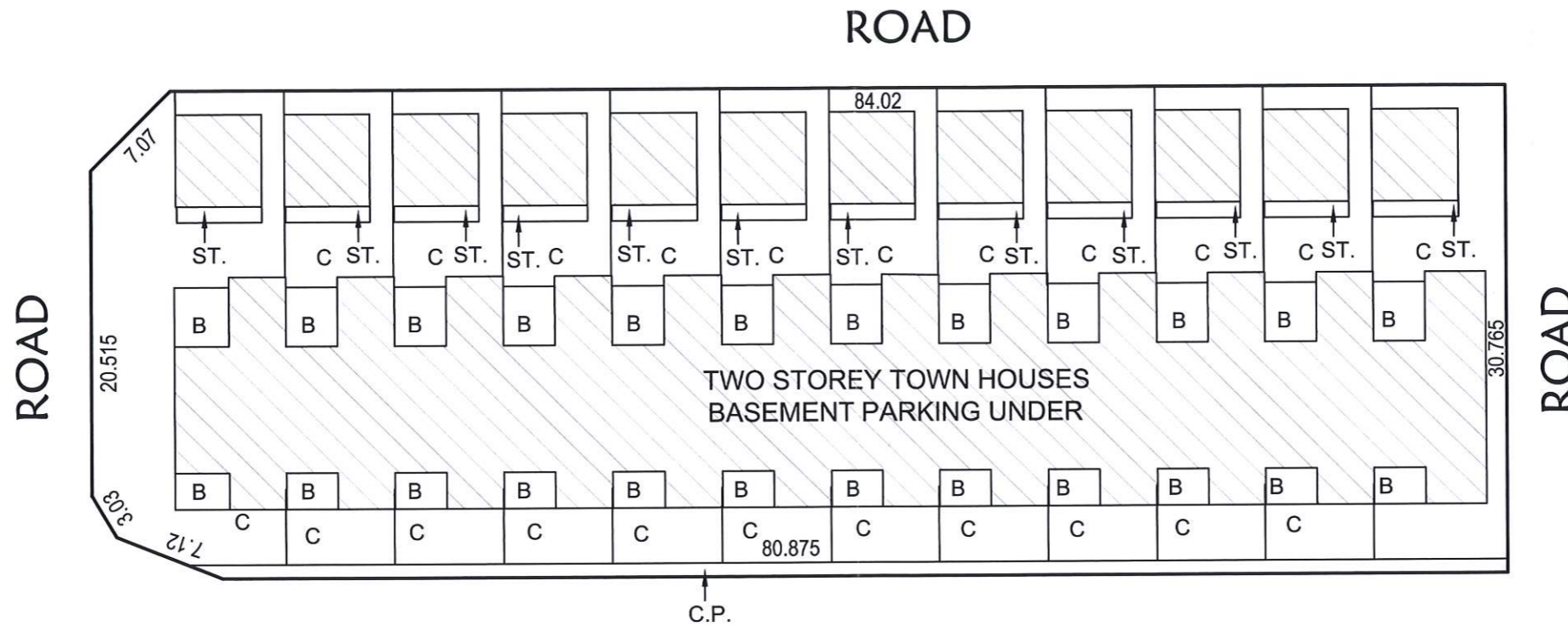
| No. | BEARING | CHORD | ARC | RADIUS |
|-----|-----------|-------|-------|--------|
| 3 | 10°59'10" | 2.67 | 2.675 | 15.24 |

SCHEDULE OF LINES

| No. | BEARING | DISTANCE |
|-----|-----------|----------|
| 1 | 43°47'25" | 3.03 |
| 2 | 5°57'25" | 5.625 |

| | | | | |
|--|--|---|------------|--|
| SURVEYOR Name: DUNCAN JOHN SIM Date: 11/04/19 Reference: 046-18 | PLAN OF PROPOSED PLAN OF SUBDIVISION OF LOT 134 D.P.208203, TERRY ROAD, ROUSE HILL | LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1: 1000 Lengths are in metres | Registered | D.P. DRAFT REVISION [01] DATE: 03/04/2020 |
|--|--|---|------------|--|

CAD REF: Z:\046-18\Survey\Plans\Plan_8851046-18C S01 [01] - T.L. - D.S.



NOTE:

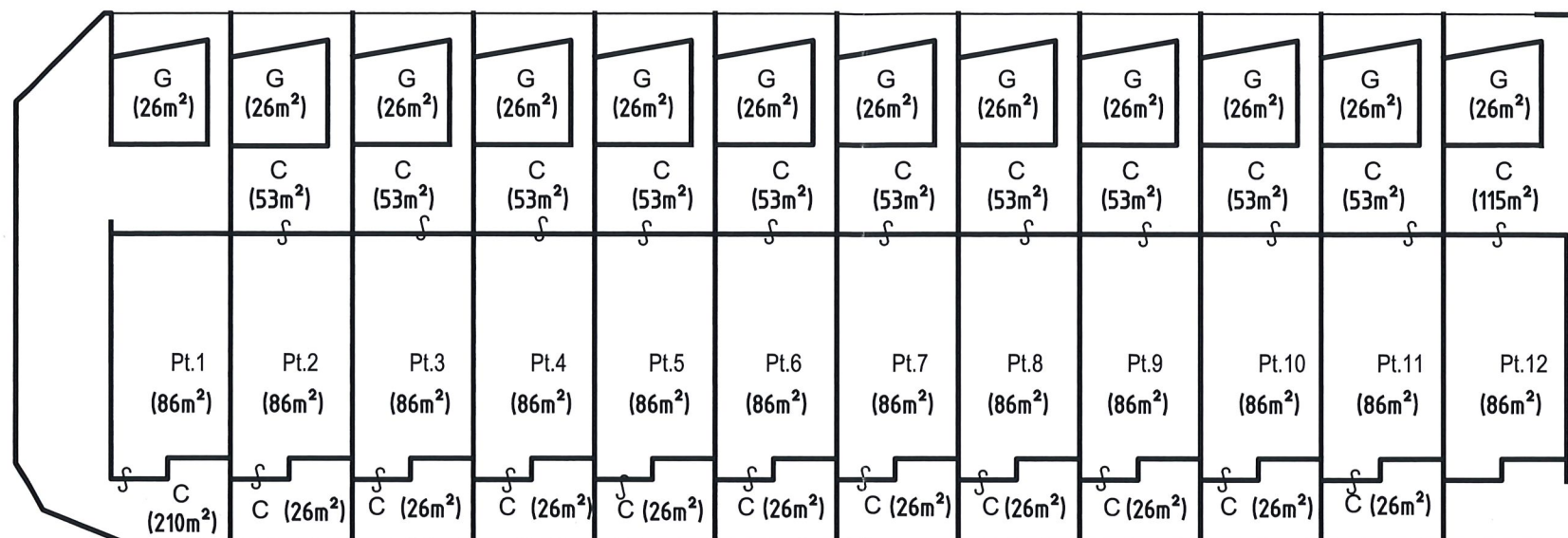
- 1. B DENOTES BALCONY
- 2. C.P. DENOTES COMMON PROPERTY
- 3. ST. DENOTES STAIRS

LOCATION PLAN

PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY HAYBALL REFERENCE 2281 PLAN DA1.00-DA1.05 DATED APRIL 2019. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL'S CONDITIONS OF APPROVAL

| | | | | |
|--|---|--|-------------------|---|
| <p>SURVEYOR Name: DUNCAN JOHN SIM Date: Reference: 046-18-R01</p> | <p>PLAN OF SUBDIVISION OF LOT 2 IN PROPOSED SUBDIVISION OF LOT 134 D.P.208203 TERRY ROAD, ROUSE HILL</p> | <p>LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1: 400 Lengths are in metres</p> | <p>Registered</p> | <p>S.P. DRAFT REVISION [00] 15/04/2019</p> |
|--|---|--|-------------------|---|



NOTE:

1. AREAS ARE APPROXIMATE ONLY
2. C DENOTES COURTYARD
3. G DENOTES GARAGE

GROUND LEVEL

PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

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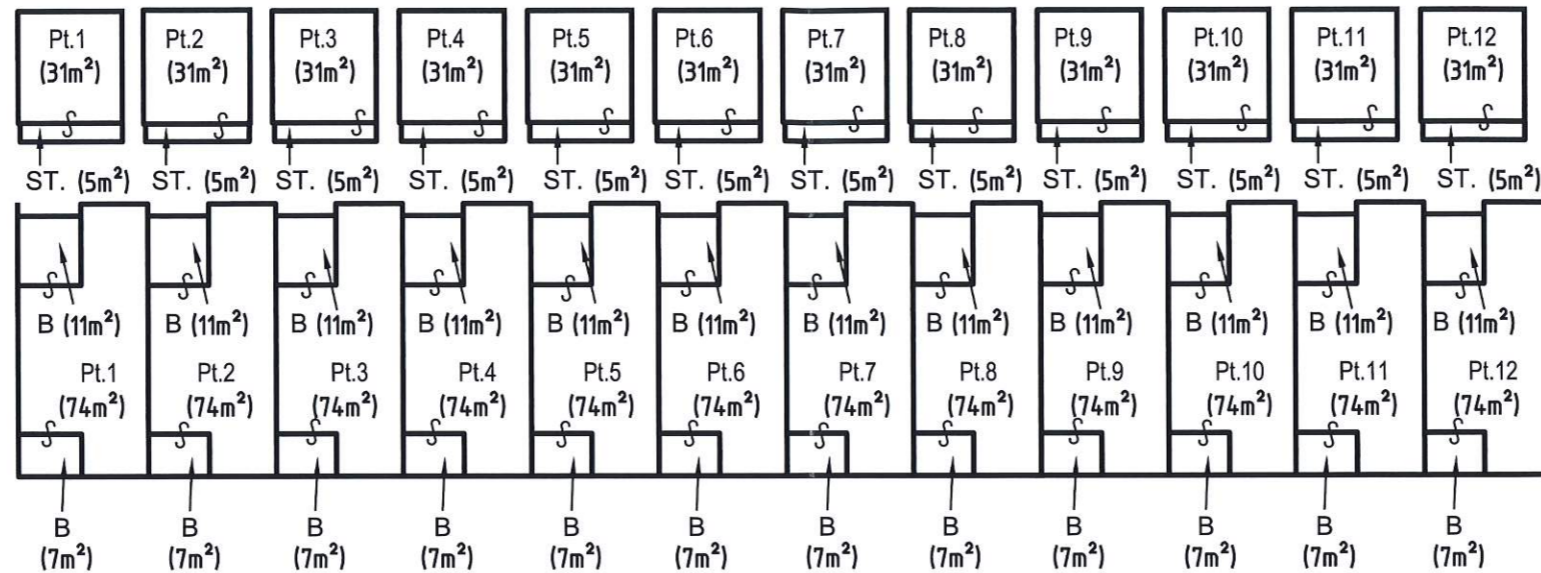
SURVEYOR
 Name: DUNCAN JOHN SIM
 Date:
 Reference: 046-18-R01

PLAN OF
 SUBDIVISION OF LOT 2 IN PROPOSED
 SUBDIVISION OF LOT 134 D.P.208203
 TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
 Locality: ROUSE HILL
 Reduction Ratio: 1: 400
 Lengths are in metres

Registered

S.P. DRAFT
 REVISION [00] 15/04/2019



NOTE:

1. AREAS ARE APPROXIMATE ONLY
2. B DENOTES BALCONY
3. ST. DENOTES STAIRS

LEVEL 1

PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

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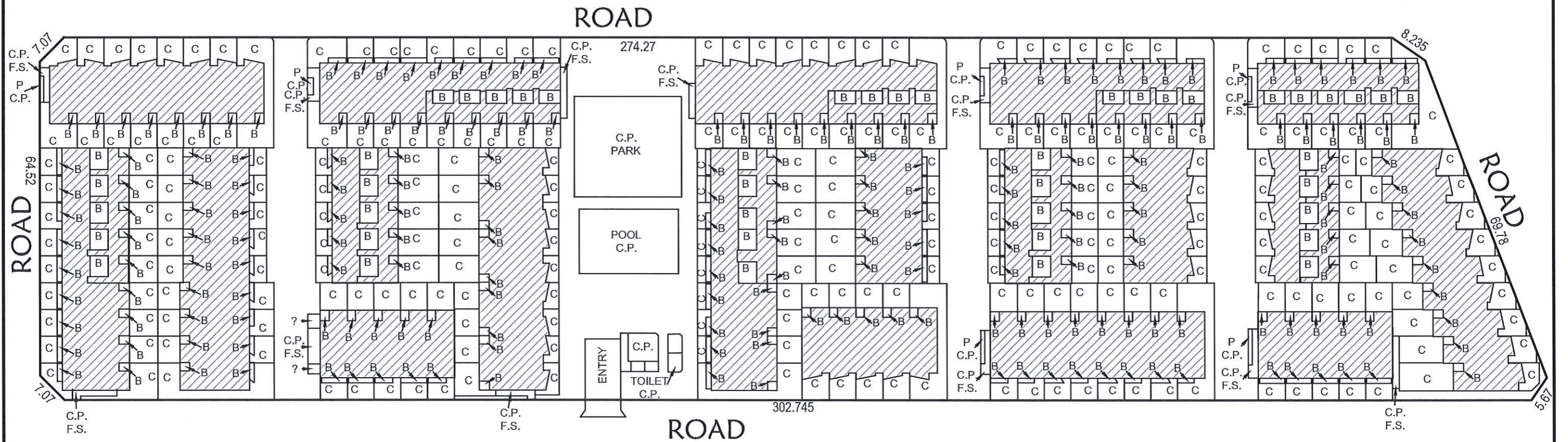
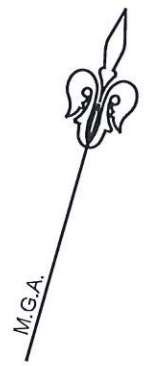
SURVEYOR
 Name: DUNCAN JOHN SIM
 Date:
 Reference: 046-18-R01

PLAN OF
 SUBDIVISION OF LOT 2 IN PROPOSED
 SUBDIVISION OF LOT 134 D.P.208203
 TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
 Locality: ROUSE HILL
 Reduction Ratio: 1: 400
 Lengths are in metres

Registered

S.P. DRAFT
 REVISION [00] 15/04/2019



NOTE.

- 1. C.P. DENOTES COMMON PROPERTY
- 2. B DENOTES BALCONY
- 3. C DENOTES COURTYARD
- 4. F.S. DENOTES FIRE STAIRS

LOCATION PLAN

PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY HAYBALL REFERENCE 2281 PLAN DA1.00-DA1.05 DATED APRIL 2019. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL'S CONDITIONS OF APPROVAL

SURVEYOR
 Name: DUNCAN JOHN SIM
 Date:
 Reference: 046-18-R01

PLAN OF
 SUBDIVISION OF LOT 1 IN PROPOSED
 SUBDIVISION OF LOT 134 D.P.208203
 TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
 Locality: ROUSE HILL
 Reduction Ratio: 1: 800
 Lengths are in metres

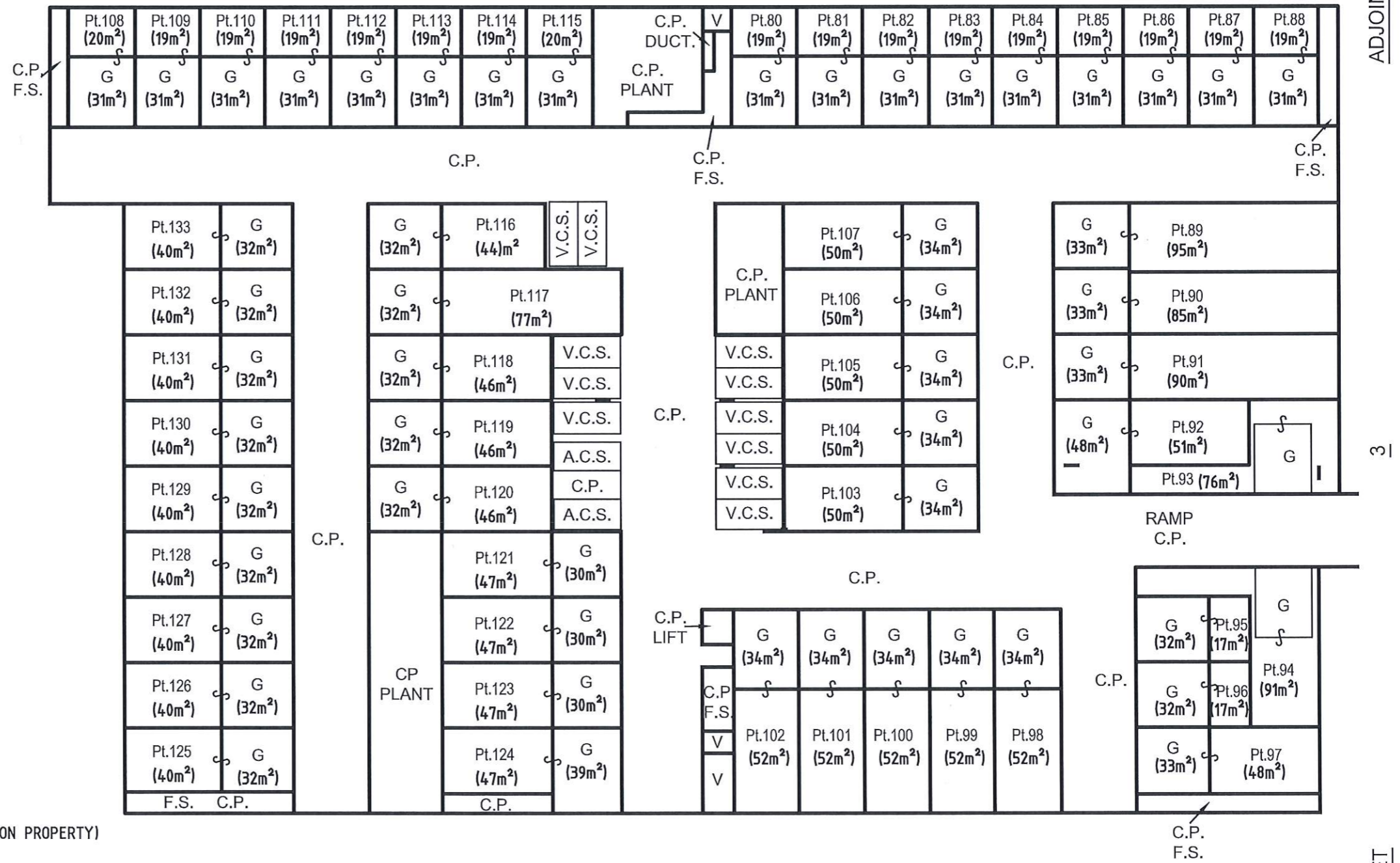
Registered

S.P. DRAFT
 REVISION [00] 15/04/2019



**PRELIMINARY STRATA PLAN NOT
FOR NSW LRS EXAMINATION**

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- NOTE.**
1. AREAS ARE APPROXIMATE ONLY
 2. A.C.S. DENOTES ADAPTABLE CAR SPACE (COMMON PROPERTY)
 3. C.P. DENOTES COMMON PROPERTY
 4. F.S. DENOTES FIRE STAIRS
 5. G DENOTES GARAGE
 6. V DENOTES VOID (COMMON PROPERTY)
 7. V.C.S. DENOTES VISITOR CAR SPACE (COMMON PROPERTY)

BASEMENT - 1

| | | | | |
|--|--|--|-------------------|--|
| <p>SURVEYOR Name: DUNCAN JOHN SIM Date: Reference: 046-18-R01</p> | <p>PLAN OF SUBDIVISION OF LOT 1 IN PROPOSED SUBDIVISION OF LOT 134 D.P.208203 TERRY ROAD, ROUSE HILL</p> | <p>LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1: 400 Lengths are in metres</p> | <p>Registered</p> | <p align="center">S.P. DRAFT REVISION [00] 15/04/2019</p> |
|--|--|--|-------------------|--|



**PRELIMINARY STRATA PLAN NOT
FOR NSW LRS EXAMINATION**

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AREAS SHOWN ARE INDICATIVE. THE PLAN IS SUBJECT TO FINAL SURVEY AND
COMPLIANCE WITH COUNCIL'S CONDITIONS OF APPROVAL

ADJOINS

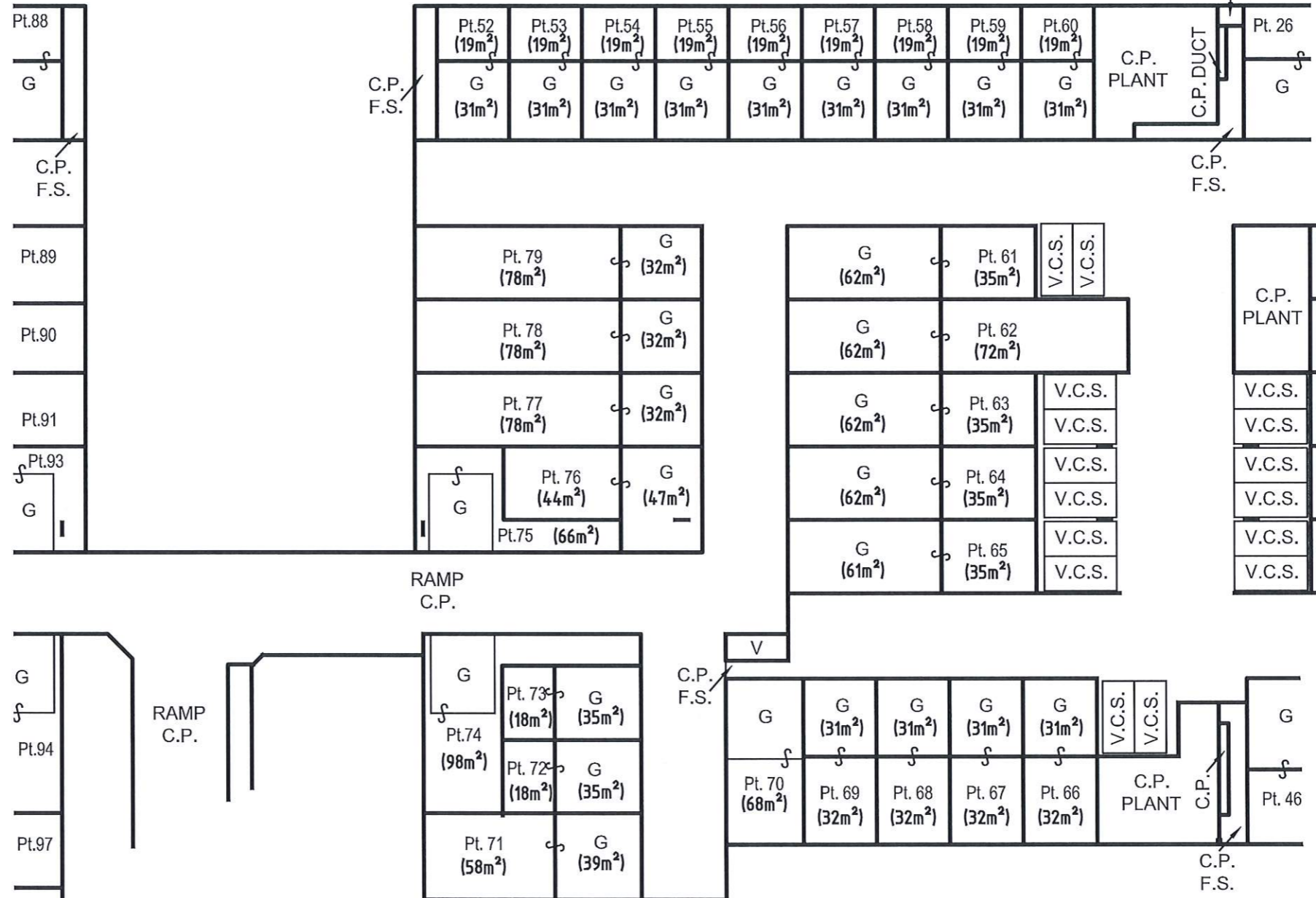
ADJOINS

2

4

SHEET

SHEET



BASEMENT - 2

NOTE.

1. AREAS ARE APPROXIMATE ONLY
2. C.P. DENOTES COMMON PROPERTY
3. F.S. DENOTES FIRE STAIRS
4. G DENOTES GARAGE
5. V DENOTES VOID (COMMON PROPERTY)
6. V.C.S. DENOTES VISITOR CAR SPACE (COMMON PROPERTY)

SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

Registered

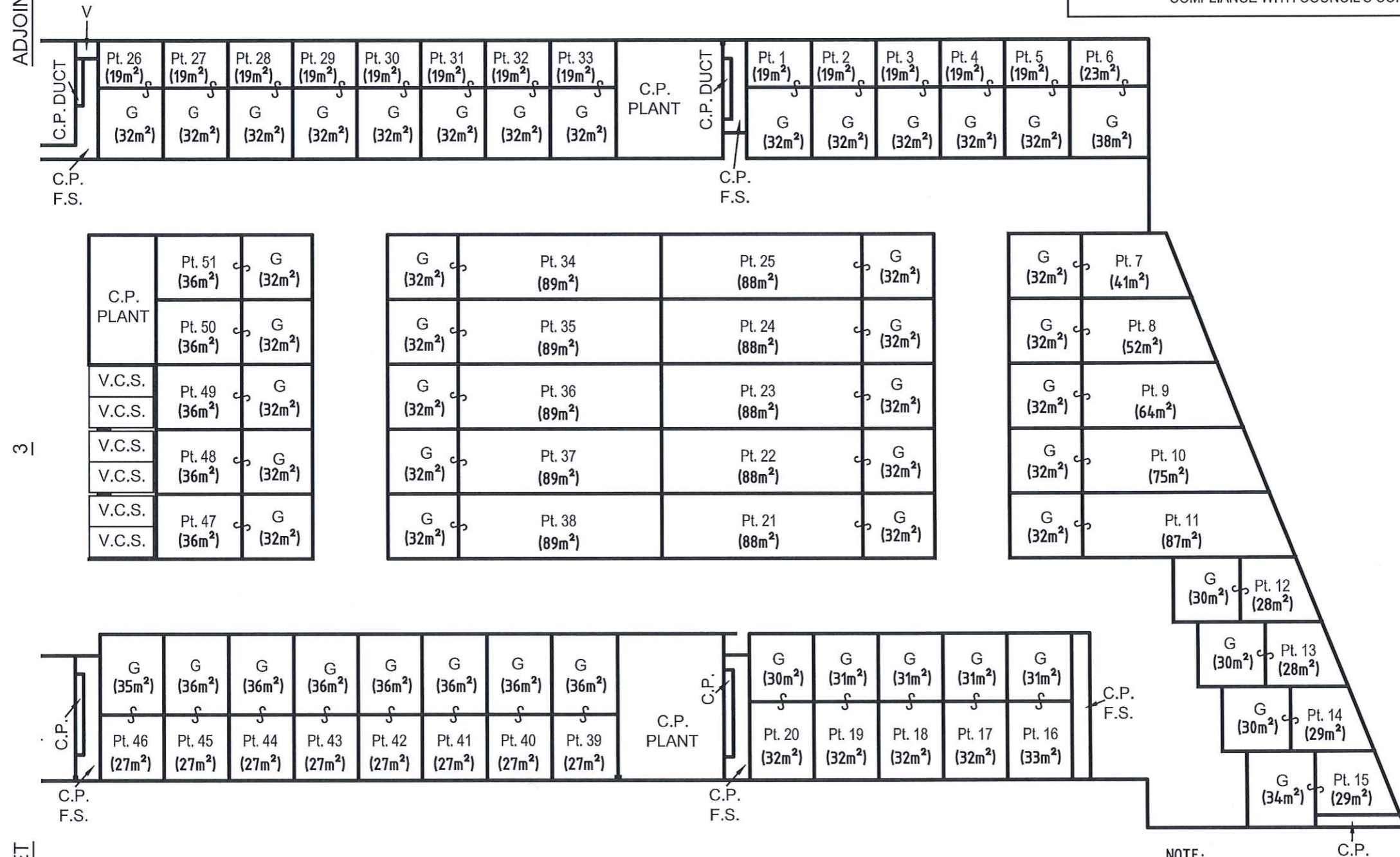
S.P. DRAFT
REVISION [00] 15/04/2019



PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY HAYBALL REFERENCE 2281 PLAN DA1.00-DA1.05 DATED APRIL 2019. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL'S CONDITIONS OF APPROVAL

ADJOINS



31

SHEET

BASEMENT - 3

- NOTE:
1. AREAS ARE APPROXIMATE ONLY
 2. C.P. DENOTES COMMON PROPERTY
 3. F.S. DENOTES FIRE STAIRS
 4. G DENOTES GARAGE
 5. V DENOTES VOID (COMMON PROPERTY)
 6. V.C.S. DENOTES VISITOR CAR SPACE (COMMON PROPERTY)

SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

Registered

S.P. DRAFT
REVISION [00] 15/04/2019



**PRELIMINARY STRATA PLAN NOT
FOR NSW LRS EXAMINATION**

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ADJOINS

| | |
|--------------------------|-------------------------------|
| C (27m ²) | Pt.116 (61m ²) |
| C (27m ²) | Pt.117 (61m ²) |
| C (27m ²) | Pt.118 (61m ²) |
| C (27m ²) | Pt.119 (61m ²) |
| C (27m ²) | Pt.120 (61m ²) |

| | |
|--------------------------|------------------------------|
| C (44m ²) | Pt.89 (61m ²) |
| C (44m ²) | Pt.90 (61m ²) |
| C (44m ²) | Pt.91 (61m ²) |
| C (44m ²) | Pt.92 (61m ²) |

61

NOTE

- AREAS ARE APPROXIMATE ONLY
- C DENOTES COURTYARD

LOWER GROUND - 1

SHEET

| | | | | |
|---|--|--|-------------------|---|
| <p>SURVEYOR Name: DUNCAN JOHN SIM Date: Reference: 046-18-R01</p> | <p>PLAN OF SUBDIVISION OF LOT 1 IN PROPOSED SUBDIVISION OF LOT 134 D.P.208203 TERRY ROAD, ROUSE HILL</p> | <p>LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1: 400 Lengths are in metres</p> | <p>Registered</p> | <p>S.P. DRAFT REVISION [00] 15/04/2019</p> |
|---|--|--|-------------------|---|



ADJOINS

**PRELIMINARY STRATA PLAN NOT
FOR NSW LRS EXAMINATION**

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HAYBALL REFERENCE 2281 PLAN DA1.00-DA1.05 DATED APRIL 2019. DIMENSIONS AND
AREAS SHOWN ARE INDICATIVE. THE PLAN IS SUBJECT TO FINAL SURVEY AND
COMPLIANCE WITH COUNCIL'S CONDITIONS OF APPROVAL

ADJOINS

5 |

| | |
|--------------------------|------------------------------|
| C (44m ²) | Pt.89 (61m ²) |
| C (44m ²) | Pt.90 (61m ²) |
| C (44m ²) | Pt.91 (61m ²) |
| C (44m ²) | Pt.92 (61m ²) |

| | |
|--------------------------|------------------------------|
| C (42m ²) | Pt.61 (61m ²) |
| C (42m ²) | Pt.62 (61m ²) |
| C (42m ²) | Pt.63 (61m ²) |
| C (42m ²) | Pt.64 (61m ²) |
| C (42m ²) | Pt.65 (61m ²) |

7 |

SHEET

SHEET

LOWER GROUND - 2

- NOTE**
1. AREAS ARE APPROXIMATE ONLY
 2. C DENOTES COURTYARD

| | | | | |
|---|--|--|------------|---|
| SURVEYOR Name: DUNCAN JOHN SIM Date: Reference: 046-18-R01 | PLAN OF SUBDIVISION OF LOT 1 IN PROPOSED SUBDIVISION OF LOT 134 D.P.208203 TERRY ROAD, ROUSE HILL | LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1: 400 Lengths are in metres | Registered | S.P. DRAFT REVISION [00] 15/04/2019 |
|---|--|--|------------|---|



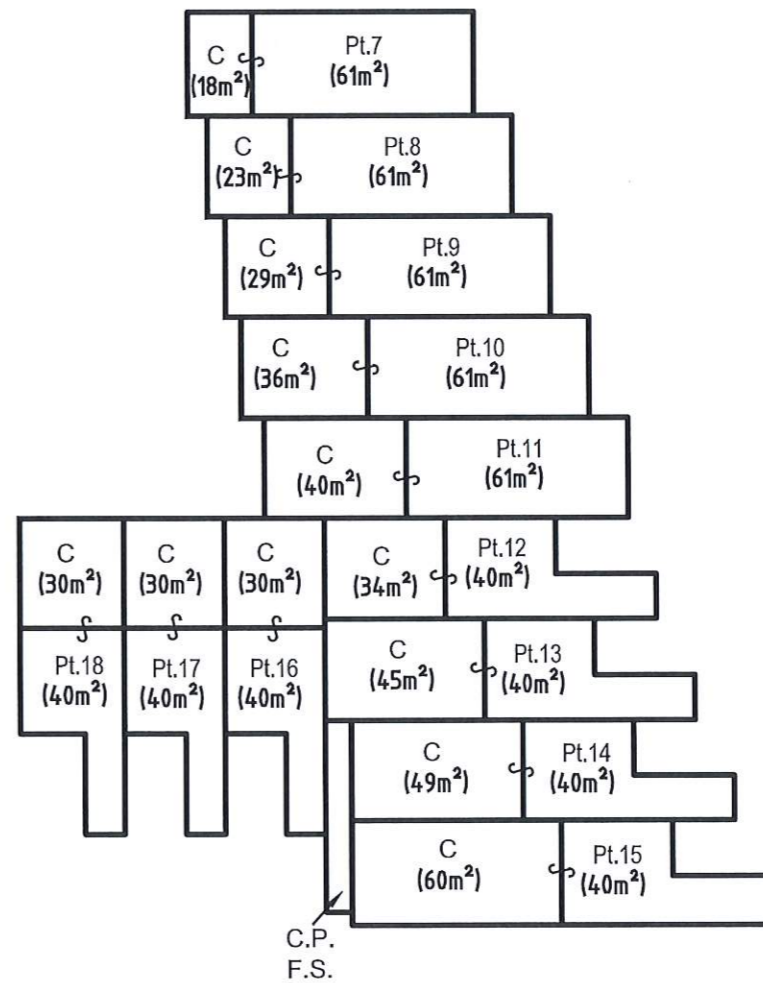
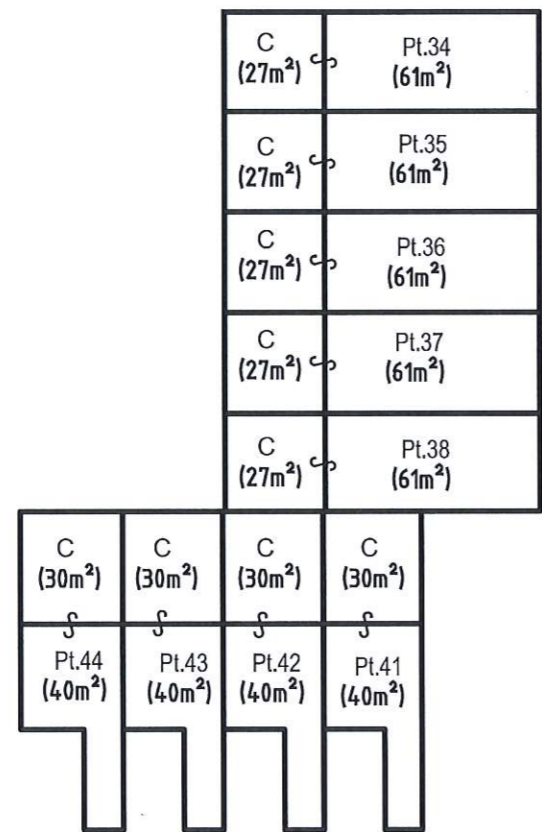
ADJOINS

61

SHEET

**PRELIMINARY STRATA PLAN NOT
FOR NSW LRS EXAMINATION**

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HAYBALL REFERENCE 2281 PLAN DA1.00-DA1.05 DATED APRIL 2019. DIMENSIONS AND
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COMPLIANCE WITH COUNCIL'S CONDITIONS OF APPROVAL



LOWER GROUND - 3

NOTE

1. AREAS ARE APPROXIMATE ONLY
2. C.P. DENOTES COMMON PROPERTY
3. C DENOTES COURTYARD
4. F.S. DENOTES FIRE STAIRS

SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

Registered

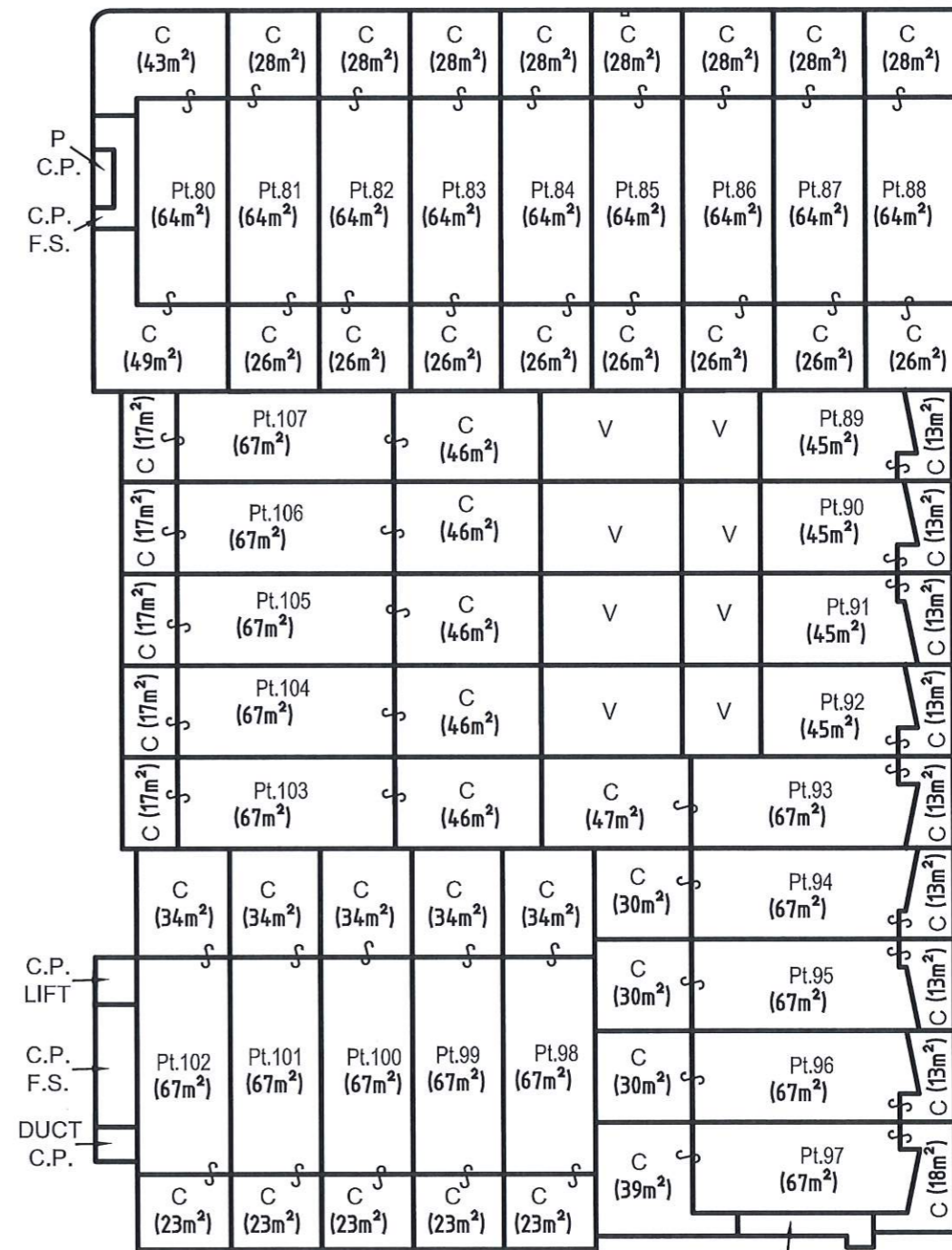
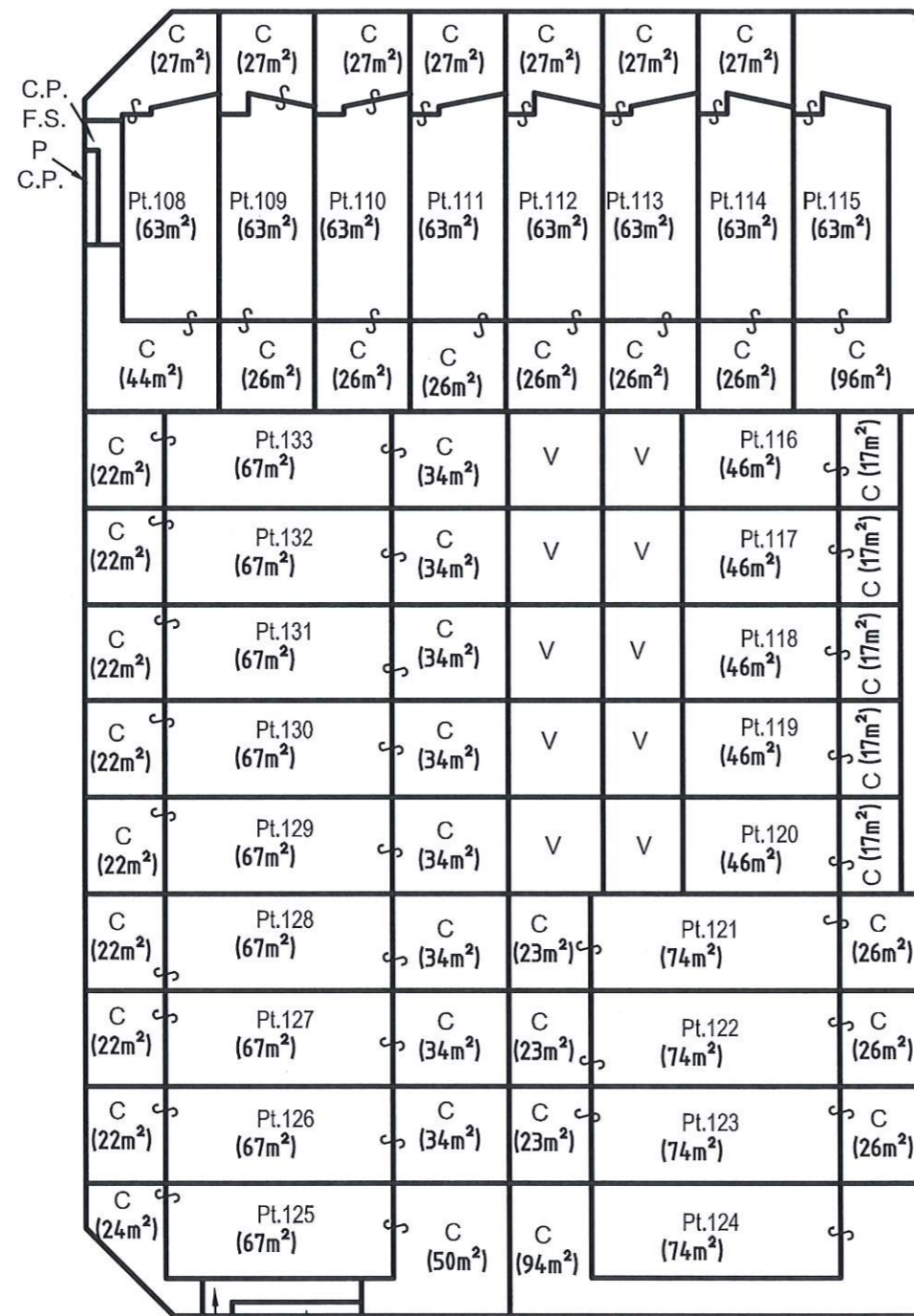
S.P. DRAFT
REVISION [00] 15/04/2019

CAD REF: Z:\046-18\Survey\Plans\Plan_88B\046-18G_R01 [00] -



PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

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NOTE

1. AREAS ARE APPROXIMATE ONLY
2. C.P. DENOTES COMMON PROPERTY
3. C DENOTES COURTYARD
4. F.S. DENOTES FIRE STAIRS
5. P DENOTES PLANTER
6. V DENOTES VOID

GROUND - 1

ADJOINS

C.P. PARK

91

SHEET

SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

Registered

S.P. DRAFT
REVISION [00] 15/04/2019



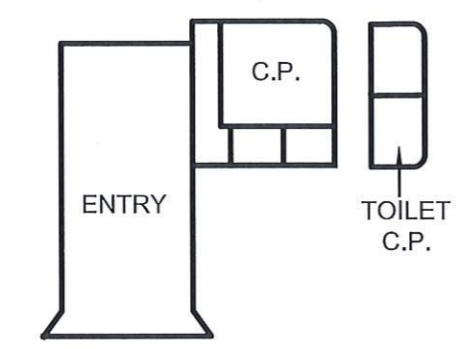
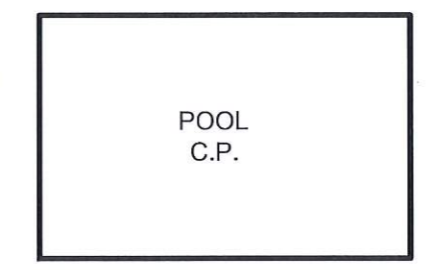
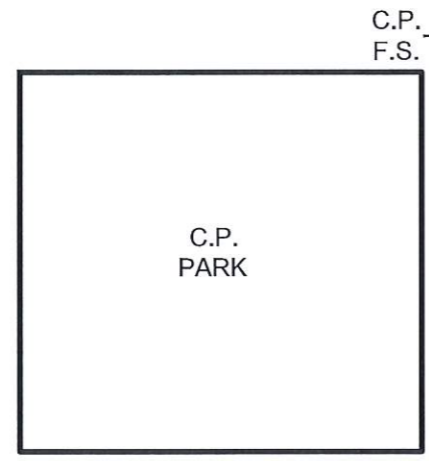
PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

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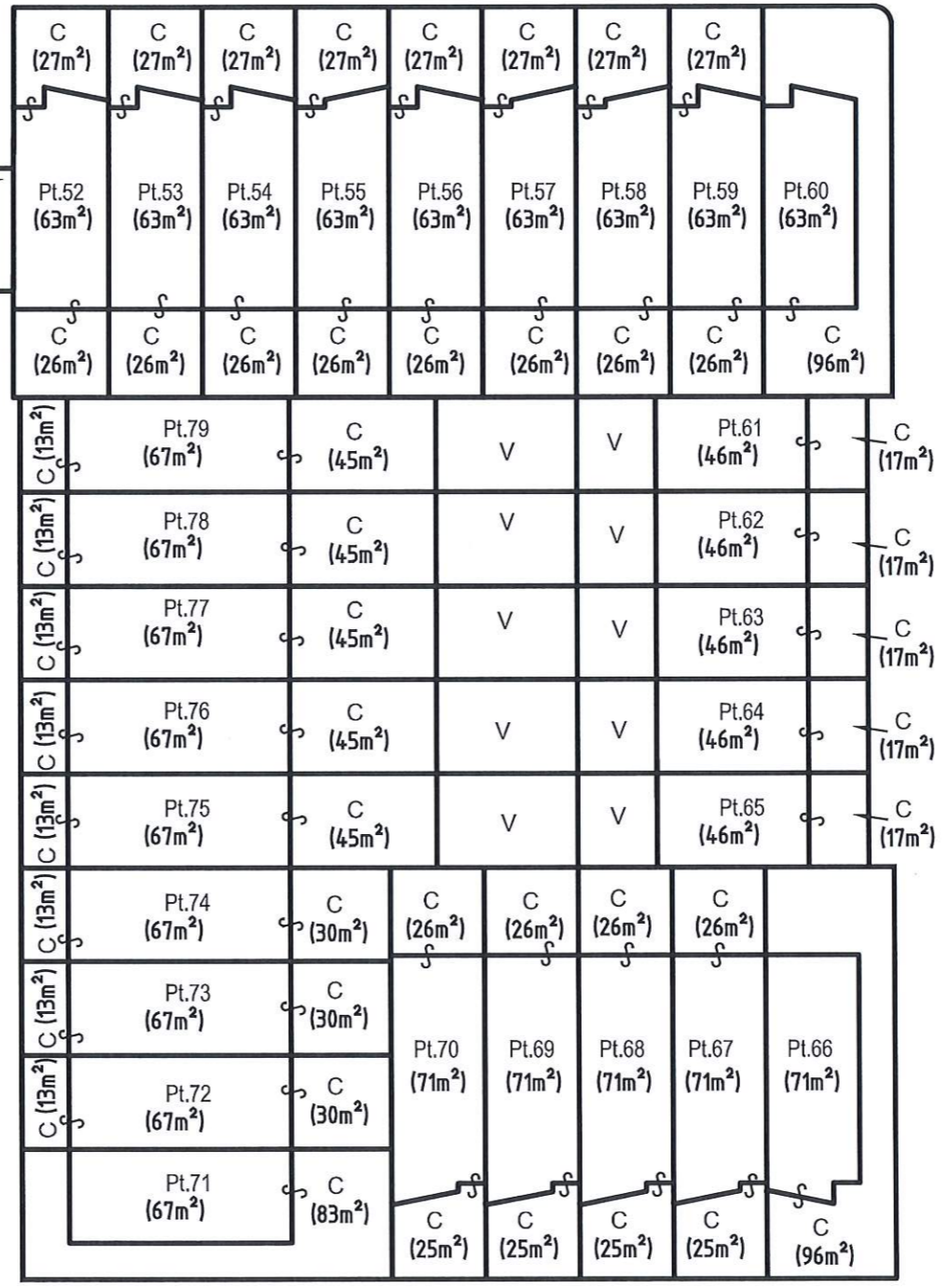
ADJOINS

8

SHEET



C.P.
F.S.



ADJOINS

10

SHEET

GROUND - 2

- NOTE**
1. AREAS ARE APPROXIMATE ONLY
 2. C.P. DENOTES COMMON PROPERTY
 3. C DENOTES COURTYARD
 4. F.S. DENOTES FIRE STAIRS
 5. P DENOTES PLANTER
 6. V DENOTES VOID

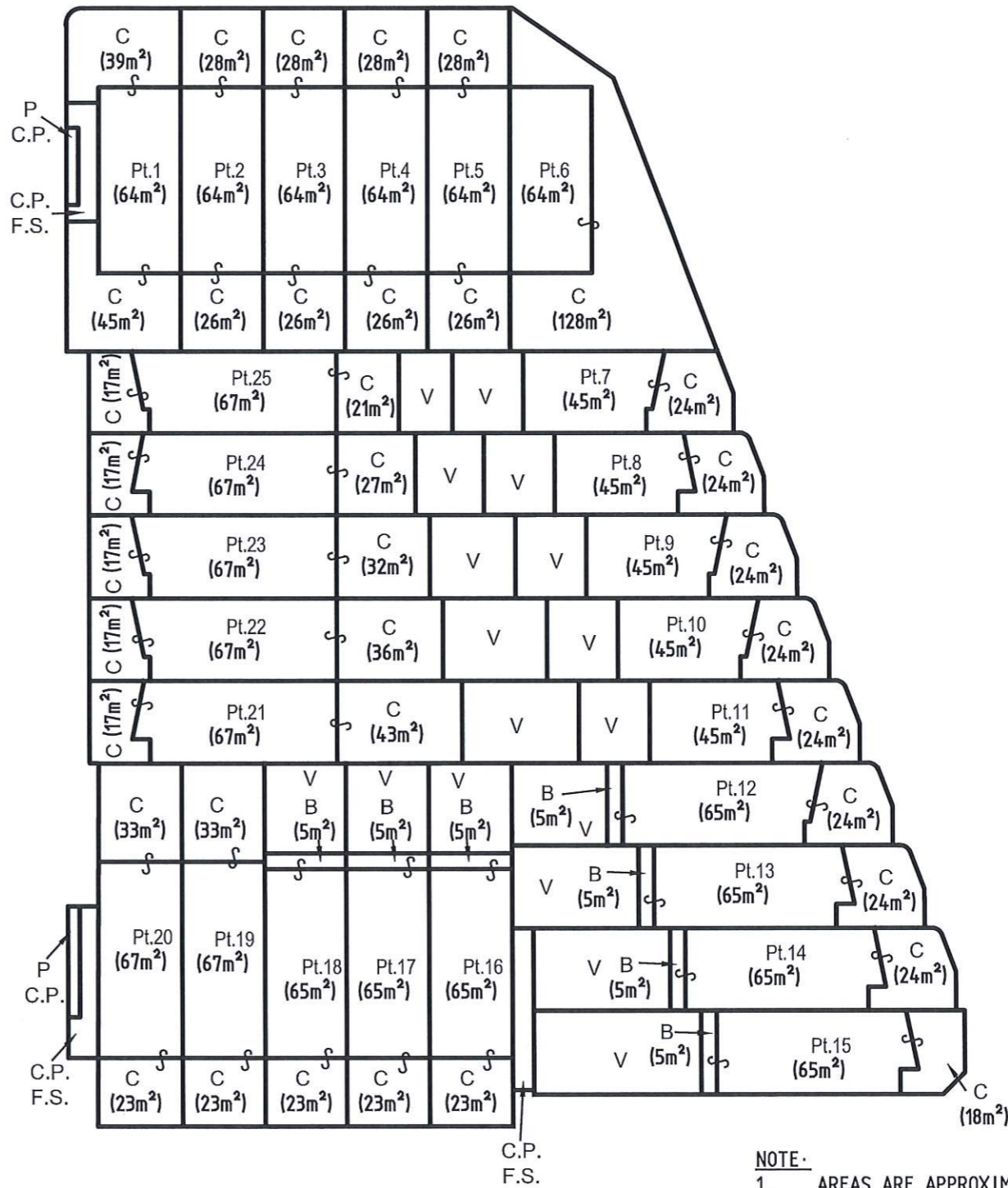
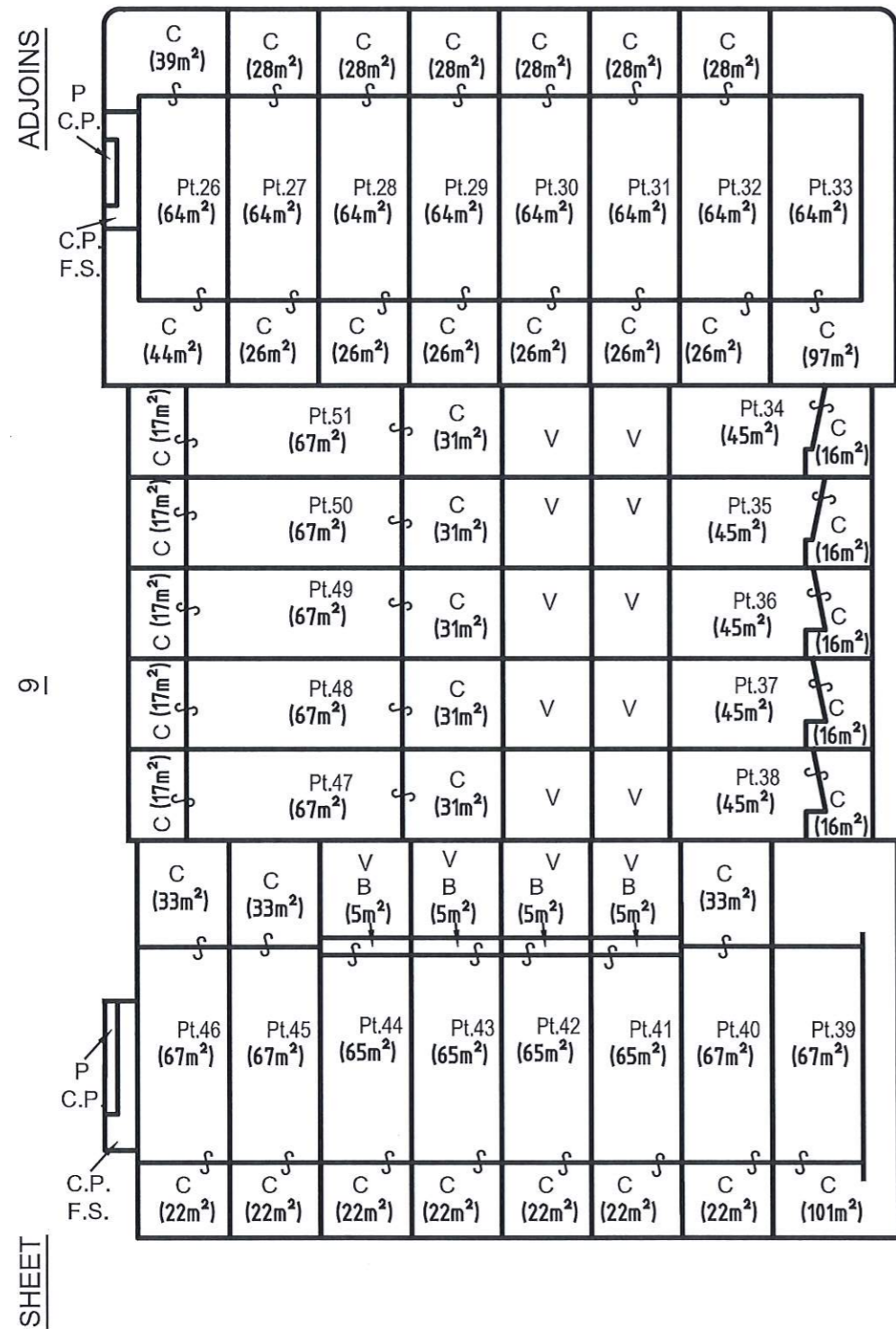
SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

Registered

S.P. DRAFT
REVISION [00] 15/04/2019



GROUND - 3

PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

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- NOTE:**
1. AREAS ARE APPROXIMATE ONLY
 2. C.P. DENOTES COMMON PROPERTY
 3. C DENOTES COURTYARD
 4. F.S. DENOTES FIRE STAIRS
 5. P DENOTES PLANTER
 6. V DENOTES VOID

SURVEYOR
 Name: DUNCAN JOHN SIM
 Date:
 Reference: 046-18-R01

PLAN OF
 SUBDIVISION OF LOT 1 IN PROPOSED
 SUBDIVISION OF LOT 134 D.P.208203
 TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
 Locality: ROUSE HILL
 Reduction Ratio: 1: 400
 Lengths are in metres

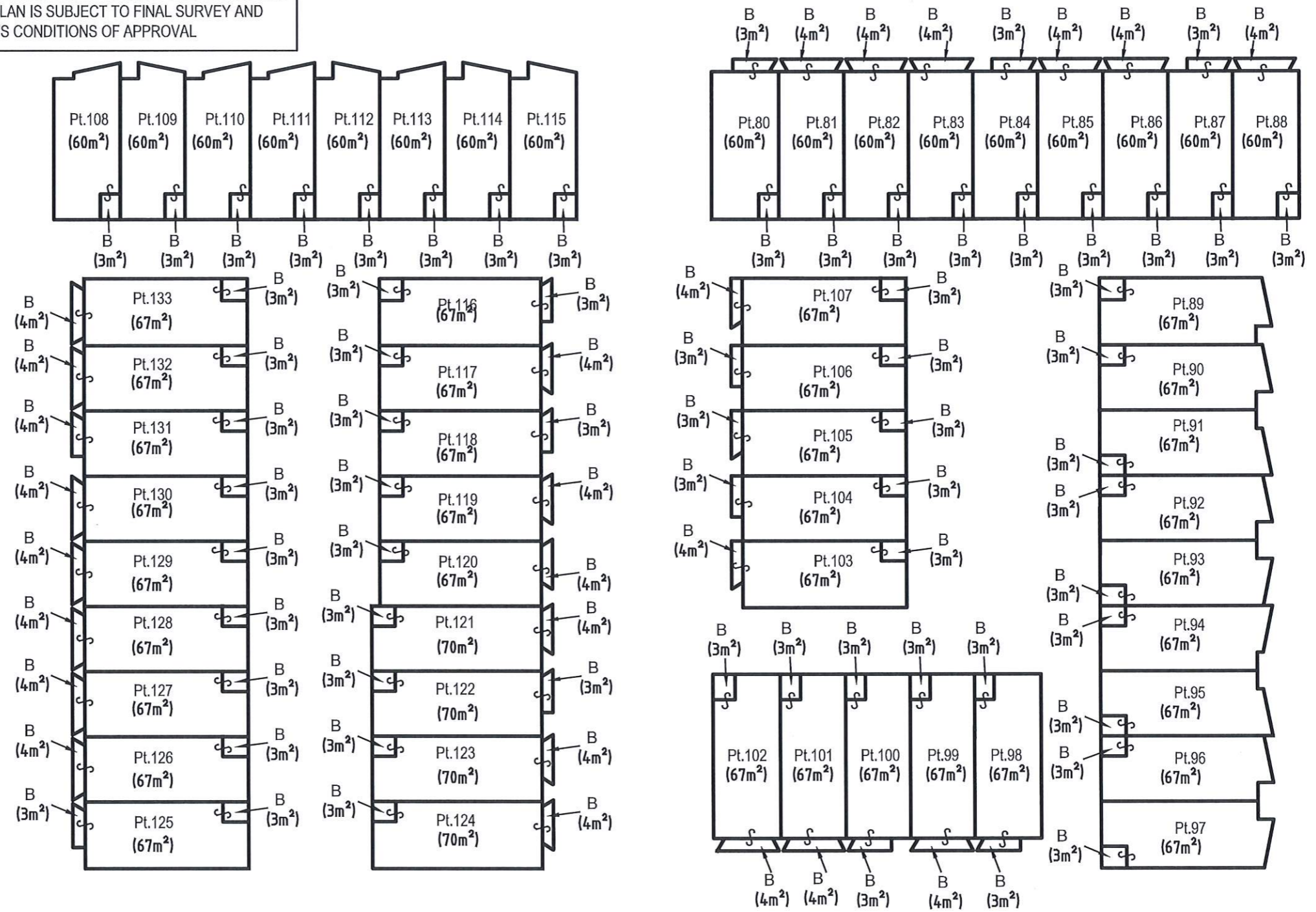
Registered

S.P. DRAFT
 REVISION [00] 15/04/2019



PRELIMINARY STRATA PLAN NOT FOR NSW LRS EXAMINATION

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NOTE

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2. C.P. DENOTES COMMON PROPERTY
3. C DENOTES COURTYARD
4. F.S. DENOTES FIRE STAIRS
5. P DENOTES PLANTER
6. V DENOTES VOID

LEVEL 1 - 1

SURVEYOR

Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF

SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN

Locality: ROUSE HILL

Reduction Ratio: 1: 400

Lengths are in metres

Registered

S.P. DRAFT

REVISION [00] 15/04/2019

SHEET

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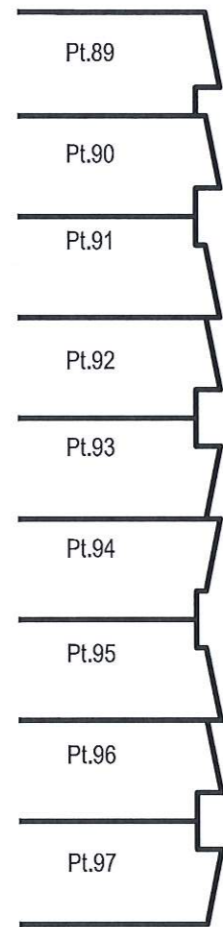
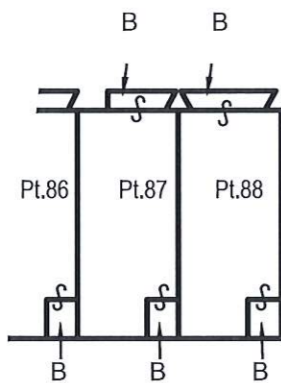
ADJOINS



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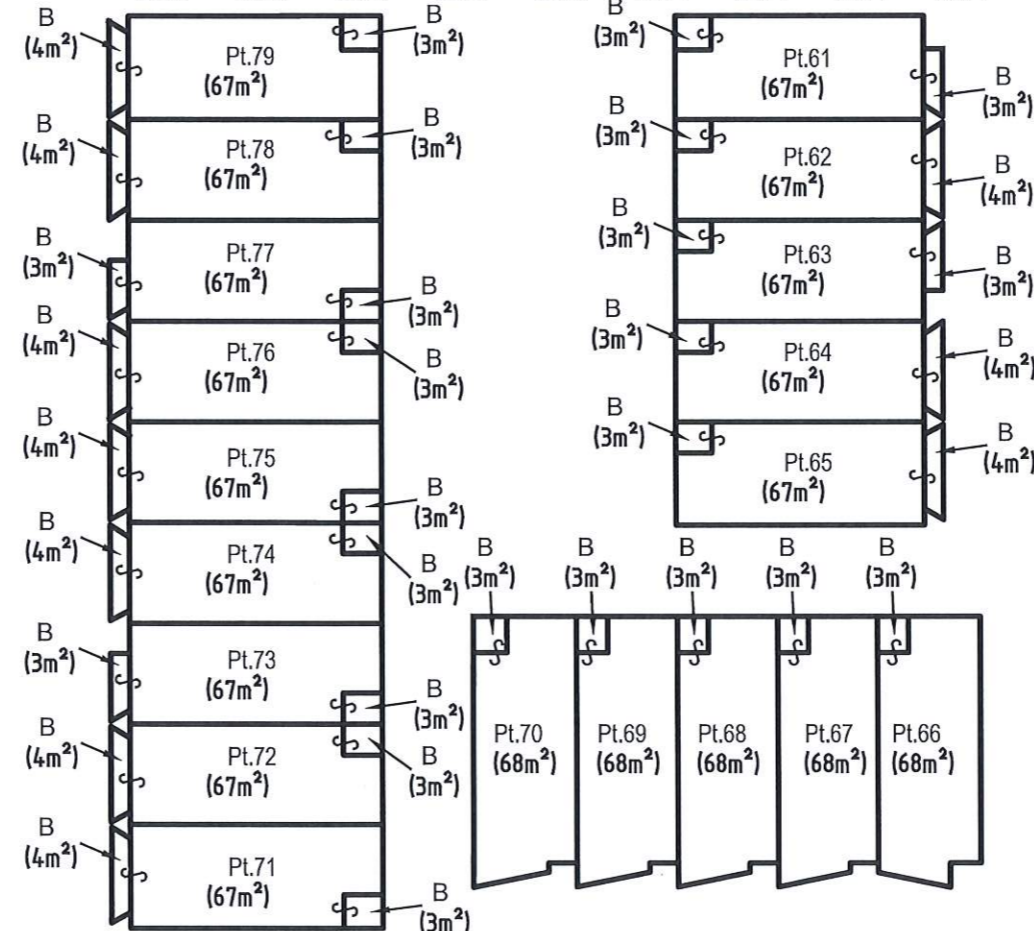
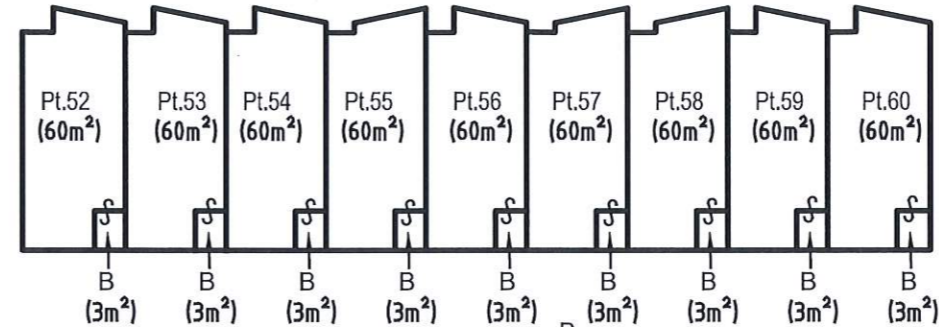
ADJOINS



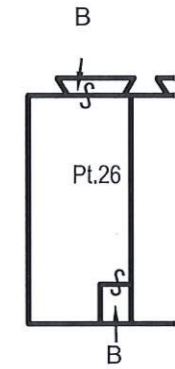
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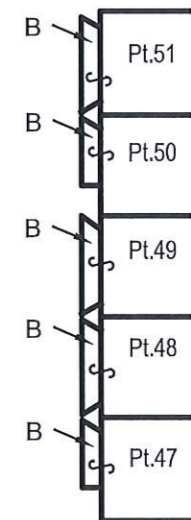
- NOTE**
1. AREAS ARE APPROXIMATE ONLY
 2. C.P. DENOTES COMMON PROPERTY
 3. C DENOTES COURTYARD
 4. F.S. DENOTES FIRE STAIRS
 5. P DENOTES PLANTER
 6. V DENOTES VOID



LEVEL 1 - 2



ADJOINS



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SHEET

SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

Registered

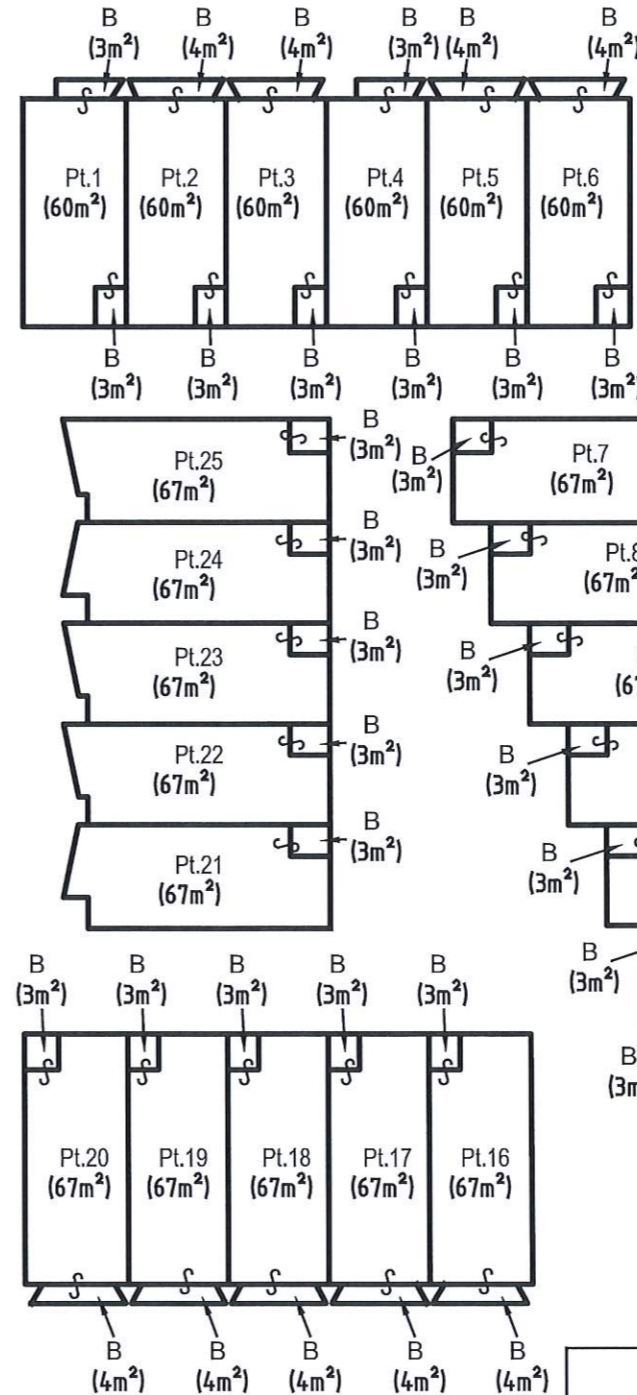
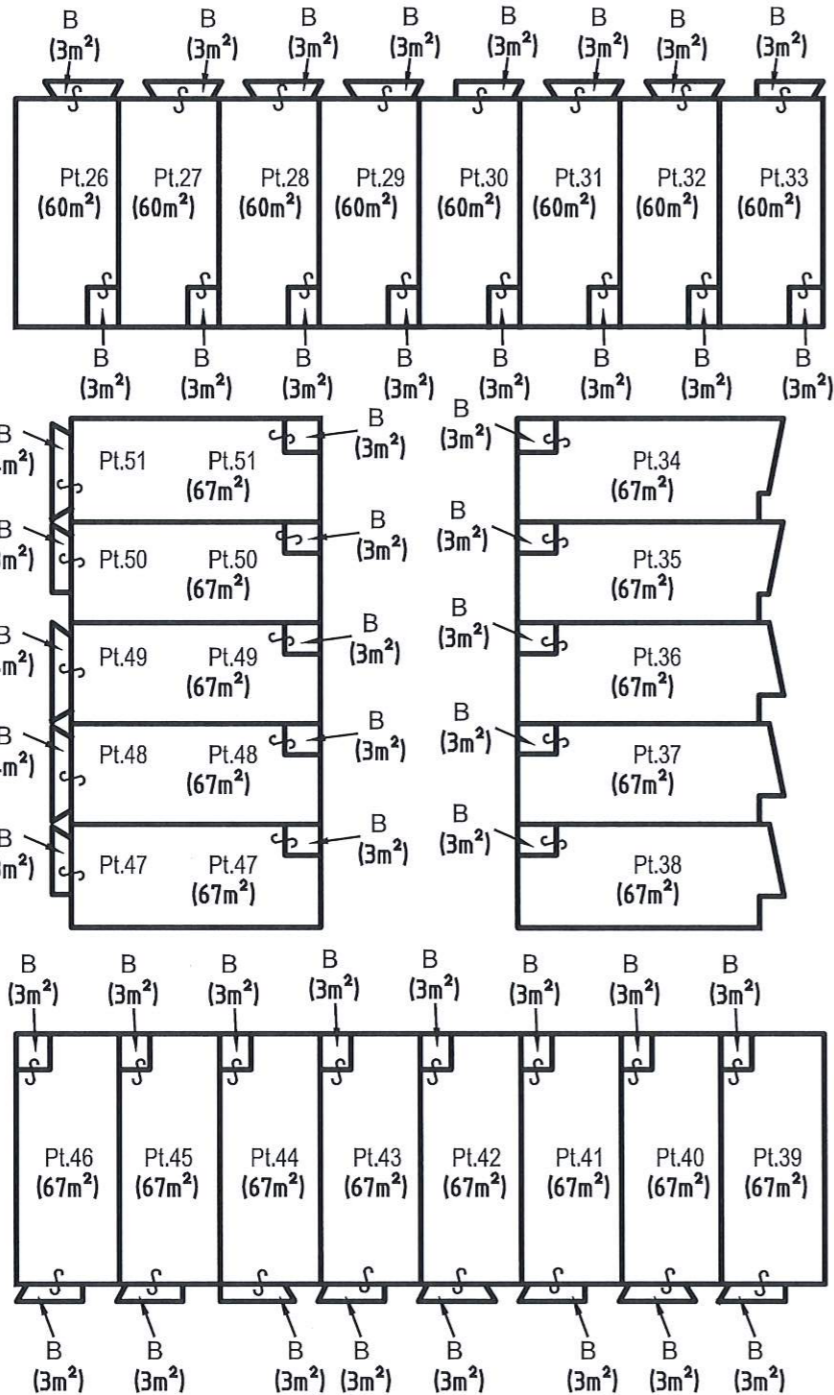
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ADJOINS

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SHEET



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LEVEL 1 - 3

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SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

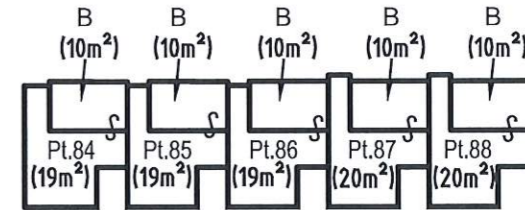
Registered

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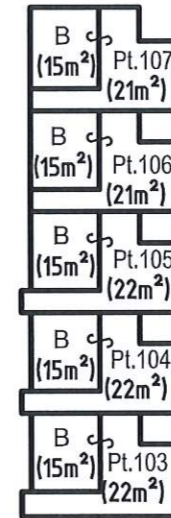
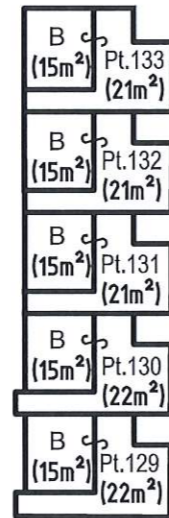


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ADJOINS



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LEVEL 2 - 1

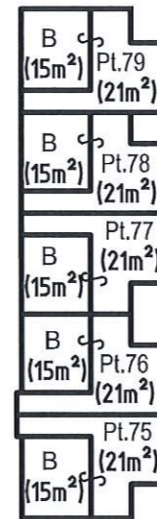
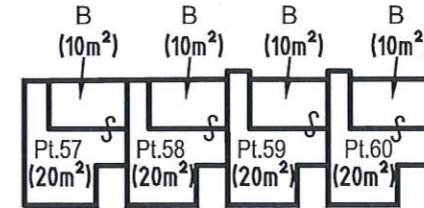
SHEET

| | | | | |
|---|--|--|------------|--|
| SURVEYOR Name: DUNCAN JOHN SIM Date: Reference: 046-18-R01 | PLAN OF SUBDIVISION OF LOT 1 IN PROPOSED SUBDIVISION OF LOT 134 D.P.208203 TERRY ROAD, ROUSE HILL | LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1: 400 Lengths are in metres | Registered | S.P. DRAFT REVISION [00] 15/04/2019 |
|---|--|--|------------|--|



ADJOINS

ADJOINS



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SHEET

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LEVEL 2 - 2

SURVEYOR

Name: DUNCAN JOHN SIM

Date:

Reference: 046-18-R01

PLAN OF

SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN

Locality: ROUSE HILL

Reduction Ratio: 1: 400

Lengths are in metres

Registered

S.P. DRAFT

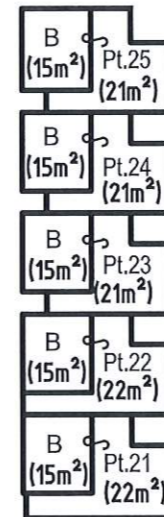
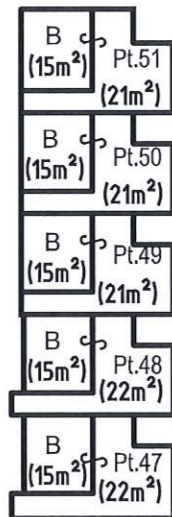
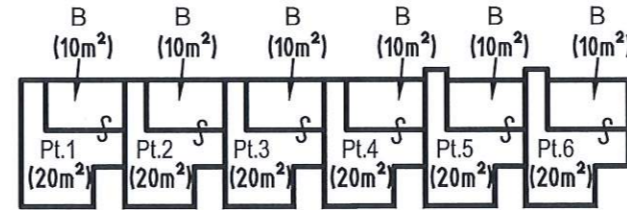
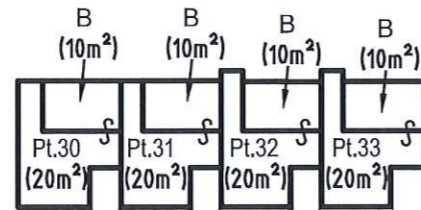
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ADJOINS

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LEVEL 2 - 3

SURVEYOR
Name: DUNCAN JOHN SIM
Date:
Reference: 046-18-R01

PLAN OF
SUBDIVISION OF LOT 1 IN PROPOSED
SUBDIVISION OF LOT 134 D.P.208203
TERRY ROAD, ROUSE HILL

LGA: BLACKTOWN
Locality: ROUSE HILL
Reduction Ratio: 1: 400
Lengths are in metres

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